

PROPOSED CONCEPTUAL DESIGN
STRAFFORD COUNTY NURSING HOME, DOVER, NEW HAMPSHIRE
JULY 19, 2023



In the fall of 2022, Warrenstreet completed a Conceptual Design for a New Nursing Home on the Site known as the “Hyder Field Site”. As part of the early due-diligence, we completed an archaeology study, historic review, and geotechnical test pits and found the site suitable for construction. In the fall of 2022, we completed a field survey of the property inclusive of wetland mapping. Although, to the laypersons eye, the land appears to be agricultural fields, they were determined to have scattered wetland throughout the proposed building site. The wetland impact was determined to be greater than (3) acres which would require a major permit with US Army Corps review, which would take a minimum of two years only after all the civil engineering had been completed. Onsite mitigation was deemed unreasonable and the financial penalty calculated at greater than \$600,000 to be paid to the State Wetland Mitigation Fund. A conscious decision was made to explore other opportunity sites within the County Farm Property.

In the spring of 2023, the Commissioners approved surveying the entire county farm, which was completed mid june. The Eric Drive Site was determined the best suitable site, with wetlands around the perimeter of the buildable location rather than scattered throughout. This site allows for a buildable site, although smaller in size, it was discussed exploring a building scheme more vertical in height, scaling the project from two stories to five stories. the overall wetland impact per the conceptual package within is in fact under 800 sf. Both parcels are comparable in size, with the Eric Drive site being of greater elevation and with an expected better soils composition for building.

All of the County Farm property is burdened with both “Conservation Easements” and “Special Easements” placed over the entire farm property in the early 1980’s. The Eric Drive Site is the better of the two situations, having a Special Easement which the County is allowed to remove for the expansion of county business. The proposed structure is set far back from property lines, and all of the abutting tree cover is proposed to remain providing a great buffer for adjoining properties. The flat roof of the building provides the opportunity to construct a local solar array to differ operating costs for the new building.

The cost of site development, utilities, and roadways is comparable. The cost of vertical construction however can be less expensive than the same square footage having a larger footprint. The proposed building has an approximate 57,000 sf footprint, is proposed to be five stories, with a basement level that houses the Kitchen, Housekeeping, Facilities and Mechanicals systems.

As a County Facility, the proposed project is exempt from local Dover zoning and planning requirements. The construction would be overseen by the State Fire Marshals Office.

For Registry of Deeds Use

GLOBAL POSITIONING SYSTEM NOTE:

GPS INFORMATION SHOWN IS BASED UPON OBSERVATIONS MADE BY THIS OFFICE USING A TRIMBLE 4800 GPS RECEIVER. BASE POINT LATITUDE, LONGITUDE AND ELEVATION HAVE BEEN DERIVED FROM A HIGH QUALITY SOLUTION REPORT. (WWW.NGS.NOAA.GOV/TOOLS/) STATE PLANE COORDINATES SHOWN HAVE BEEN DERIVED FROM SOFTWARE, VER. 1.0.0.0.

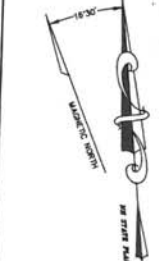
DATE OF OBSERVATION: SEPTEMBER 26, 2002
 DATE OF SOLUTION REPORT: SEPTEMBER 27, 2002
 BASE POINT DESCRIPTION: OAK HUB WITH TACK
 REFERENCE FRAME: NAD83 (CORNER) (EPOCH: 2002.0000)
 LATITUDE: N 43° 13' 15.4300"
 LONGITUDE: W 070° 56' 31.21330"
 DATUM: GEOID99 NAVD83
 ELEVATION: 155.62
 STATE PLANE COORDINATES:
 ZONE: NEW HAMPSHIRE
 NORTHING: 2800 (HNT)
 EASTING: 263,988.31409
 1,178,151.74378

NOTES:

- OWNER OF RECORD: STRAFFORD COUNTY
COUNTY FARM ROAD
DOVER, NEW HAMPSHIRE 03820
S.C.R.D. VOL. 235, PAGE 337
S.C.R.D. VOL. 241, PAGE 521
S.C.R.D. VOL. 255, PAGE 274
- 8/20 - DENOTES TAX MAP / LOT NO.
- THE INTENT OF THIS PLAN IS TO DELINEATE THE AREAS OF THE COUNTY LANDS WHICH ARE TO BE PLACED UNDER A CONSERVATION NEW HAMPSHIRE FORESTS. REFERENCE IS MADE TO THE EASEMENT DOCUMENTS FOR MORE PARTICULAR RESTRICTIONS OF THE VARIOUS TRACTS SHOWN.
- PORTIONS OF THE COUNTY LANDS MAY BE SUBJECT TO LEASES OR RESTRICTIONS THAT WERE NOT RESEARCHED AS PART OF THIS PLAN.
- THE COUNTY LANDS ARE SUBJECT TO THE FOLLOWING:
 - THAT PORTION OF THE PROPERTY ABUTTING THE COCHECO RIVER IS SUBJECT TO THE DAM PRIVILEGE AND FLOWAGE RIGHTS OF THE CITY OF DOVER KNOWN AS THE "MUSSEY MILL PRIVILEGE". SEE SORD BOOK 911, PAGE 112.
 - THAT PORTION OF THE PROPERTY ABUTTING THE COCHECO RIVER MAY BE SUBJECT TO AND AFFECTED BY THE DAM PRIVILEGE AND FLOWAGE RIGHTS OF THE WATSON HYDROELECTRIC ASSOCIATES AT THE WATSON/MALDEN DAM. (SEE SORD BOOK 1153, PAGE 440. OTHERS AS DESCRIBED IN SORD BOOK 235, PAGE 337, TRACT 3.
 - THE PROPERTY IS SUBJECT TO A PASSENGYR IN COMMON WITH OTHERS AS DESCRIBED IN SORD BOOK 235, PAGE 337, TRACT 3.
 - THERE IS EXCEPTED FROM THE PROPERTY TWO BURIAL PLACES DESCRIBED IN SORD BOOK 241, PAGE 521. THESE BURIAL SITES WERE NOT FOUND DURING THIS SURVEY. THEIR LOCATION IS UNDETERMINED.
 - THE PROPERTY IS SUBJECT TO AN EASEMENT TO PUBLIC SERVICE COMPANY OF NEW HAMPSHIRE AND NEW ENGLAND TELEPHONE & TELEGRAPH COMPANY PER SORD BOOK 854, PAGE 70.
 - THE PROPERTY IS SUBJECT TO AN EASEMENT TO NEW ENGLAND TELEPHONE & TELEGRAPH COMPANY AND PUBLIC SERVICE COMPANY OF NEW HAMPSHIRE FOR A 20' WIDE UNDERGROUND UTILITY EASEMENT PER SORD BOOK 1001, PAGE 514.
- NO LAYOUT WAS FOUND FOR COUNTY FARM ROAD OR COUNTY FARM CROSS ROAD. THE RIGHTS OF WAY LINES WERE ASSUMED TO BE 3' PHYSICAL FEATURES, AND CALCULATED USING EXISTING MONUMENTATION, PHYSICAL FEATURES, AND ROAD CONSTRUCTION.

AREA TABLE

CONSERVATION EASEMENT			
#1	233,141 S.F.	/	5.35 Ac.
#2	1,158,611 S.F.	/	26.60 Ac.
#3	4,334,460 S.F.±	/	99.5 Ac.±
#4	690,923 S.F.	/	15.86 Ac.
SUBTOTAL			
	6,417,135 S.F.±	/	147.32 Ac.±
SPECIAL PROVISION			
#1	499,632 S.F.	/	11.47 Ac.
#2	345,206 S.F.	/	7.92 Ac.
#3	524,835 S.F.	/	12.05 Ac.
#4	168,145 S.F.	/	3.86 Ac.
#5	850,647 S.F.	/	19.53 Ac.
#6	452,253 S.F.	/	10.38 Ac.
SUBTOTAL			
	2,840,718 S.F.	/	65.21 Ac.
TOTAL AREA SUBJECT TO CONSERVATION EASEMENT			
	9,257,853 S.F.	/	212.53 Ac.
NON-EASEMENT			
#1	404,723 S.F.	/	9.29 Ac.
#2	1,270,343 S.F.	/	29.18 Ac.
#3	1,293,872 S.F.	/	29.70 Ac.
SUBTOTAL			
	2,968,938 S.F.	/	68.16 Ac.
TOTAL LAND AREA			
	12,226,791 S.F.±	/	280.69 Ac.±



REFERENCE PLANS:

- LAND OF COCHECO MFG. CO. IN DOVER, SCALE: 1" = 40'. DATED: 1871. RECORDED S.C.R.D. PLAN 7, FOLDER 8, FOLDER 5.
- LAND IN DOVER, N.H. - ROBERT H. WENTWORTH ET AL, TRUSTEES OF THE PROPERTY OF THE BOSTON & MAINE CORPORATION TO HOLD A GREGORY KONTRELAKOS, SCALE: 1" = 100'. DATED: DEC. 1874. B.M. CORP. PLAN R4-2-1. RECORDED S.C.R.D. PLAN 15, FOLDER 15, FOLDER 1.
- SUBDIVISION OF LAND FOR CHESTER & VOLA BOSTWICK, DOVER, N.H. SCALE: 1" = 100'. DATED: SEPT. 3, 1886. BY: WALKER & O'NEIL SURVEY ASSOCIATES. RECORDED S.C.R.D. PLAN 30-81.
- SUBDIVISION OF LAND FOR VOLA & CHESTER BOSTWICK IN DOVER, N.H. SCALE: 1" = 50'. DATED: FEBRUARY 18, 1880. REV. TO 4-4-1880. BY: BRUCE L. POPOPOK. RECORDED S.C.R.D. PLAN 200-71.
- FIELDS CROSSING - 8TH STREET ASSOCIATES, INC. COUNTY FARM CROSS ROAD, DOVER, NEW HAMPSHIRE. DATED: JUNE 24, 1988. REV. TO 12-21-1988. BY: THOMAS F. MORAN, INC. RECORDED S.C.R.D. PLANS 37-90, 37-86, 37-128, 37-130, 37-131.
- SUBDIVISION OF LAND PREPARED FOR DAVID & JOHN WILES, COUNTY FARM ROAD, DOVER, NEW HAMPSHIRE. SCALE: 1" = 100'. DATED: FEBRUARY 12, 1996. BY: THIS OFFICE. RECORDED S.C.R.D. PLAN 47-53.
- PLAN OF SUBDIVISION - DAVID & JORROK, JOHN D. WILES, COUNTY FARM ROAD, DOVER, NEW HAMPSHIRE. SCALE: 1" = 100'. DATED: NOV. 1988. REV. TO JAN. 1989. BY: R.E. MOORE & B.G. STAPLES. RECORDED S.C.R.D. PLAN 37-54.
- LOT LINE ADJUSTMENT FOR W.P.L. N.H. 3, INC. AND GREGORIOS KONTRELAKOS & HELEN KONTRELAKOS UPPER SIXTH STREET IN DOVER, N.H. SCALE: 1" = 100'. DATED: JAN. 26, 1995. BY: BRUCE L. POPOPOK. RECORDED S.C.R.D. PLAN 42-77.
- PRIZE LOT 1 THRU 14 ONLY - COCHECO PINES, DOVER, N.H. SCALE: 1" = 100'. DATED: DEC. 1876. BY: FREDERICK E. O'NEIL ASSOCIATES. RECORDED S.C.R.D. PLAN 18A-62.
- WATER IN FISHER TRAIL PLAN COVERED BRIDGE LOTS, DOVER, NEW HAMPSHIRE. SCALE: 1" = 50'. DATED: APRIL 1980. BY: G.L. SHAYS & ASSOCIATES. RECORDED S.C.R.D. 200-24.
- SUBDIVISION OF LAND FOR GREGORIOS KONTRELAKOS IN DOVER, N.H. SCALE: 1" = 100'. DATED: MARCH 8, 1978. BY: BRUCE L. POPOPOK. RECORDED S.C.R.D. PLAN 100-100.
- SUBDIVISION OF LAND PREPARED FOR JAMES A. SMITH LOCATED AT COUNTY FARM CROSS ROAD, DOVER, N.H. SCALE: 1" = 100'. DATED: 37 APR. 1988. REV. TO 3-12-1988. BY: ATLANTIC SURVEY COMPANY. RECORDED S.C.R.D. PLAN 53-28.

NO.	DATE	REVISIONS	BY	CHK
02-1400	EASEMENT	02-14	32-74	
PROJECT NO.	TYPE	FIELDBOOK & PAGES		
For Registry of Deeds Use				



- LEGEND**
- CE - CONSERVATION EASEMENT
 - S.P.C.E. - SPECIAL PROVISION CONSERVATION EASEMENT
 - N-E - NON-EASEMENT
 - - FENCE
 - - STONE WALL
 - - EDGE OF PAVEMENT
 - - EDGE OF RIVER
 - - BROOK
 - D.H. - DRILL HOLE
 - IP (nd) - IRON PIPE (FOUND)
 - IR (nd) - IRON ROD (FOUND)
 - IR (nd) - IRON ROD W/ PLASTIC I.D. CAP (SET)
 - MON - MONUMENT OF UNSPECIFIED MATERIAL
 - MORE OR LESS
 - TR - TYPICAL
 - S.F. - SQUARE FEET
 - AC - ACRES
 - S.C.R.D. - STRAFFORD COUNTY REGISTRY OF DEEDS
 - S.P.N.H.F. - SOCIETY FOR THE PROTECTION OF NEW HAMPSHIRE FORESTS

CONSERVATION EASEMENT PLAN
 OF
STAFFORD COUNTY LANDS
 PREPARED FOR THE
SOCIETY FOR THE PROTECTION
OF NEW HAMPSHIRE FORESTS
 TAX MAP B, LOT No. 20 & TAX MAP C, LOT No. 4
COUNTY FARM ROAD and
COUNTY FARM CROSS ROAD
DOVER, STRAFFORD COUNTY, NEW HAMPSHIRE

DRAWN BY: **RMW** FILE: **02-PY40010-14000**
 SCALE: 1" = 250' DATE: **NOVEMBER 25, 2002**

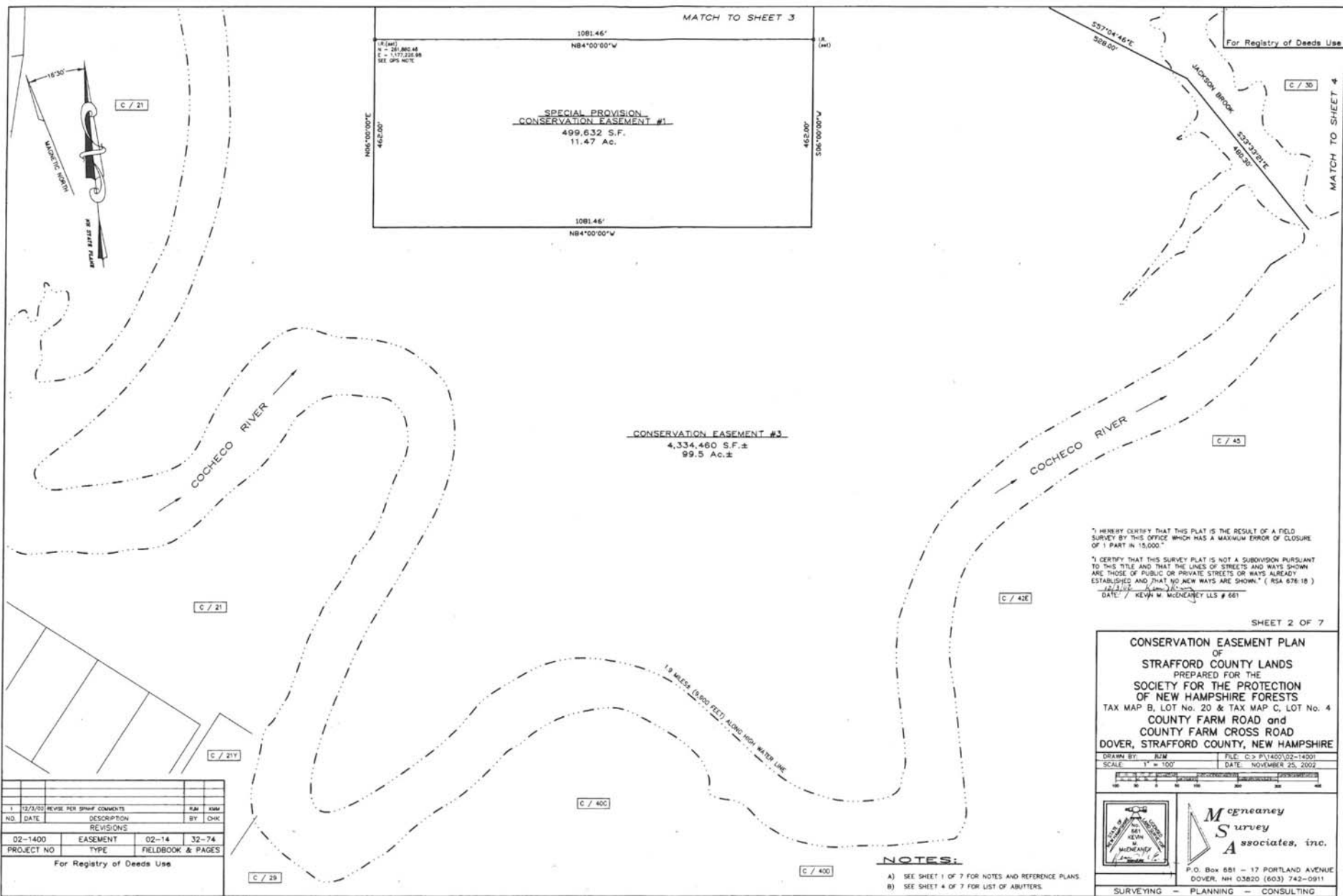
M. McNeaney
Survey
Associates, Inc.
 P.O. Box 681 - 17 PORTLAND AVENUE
 DOVER, NH 03820 (603) 742-2911

SURVEYING - PLANNING - CONSULTING

PLAN M-3

SHEET 1 OF 7

SHEET 2



PLAN 08-5

I HEREBY CERTIFY THAT THIS PLAT IS THE RESULT OF A FIELD SURVEY BY THIS OFFICE WHICH HAS A MAXIMUM ERROR OF CLOSURE OF 1 PART IN 15,000.
I CERTIFY THAT THIS SURVEY PLAT IS NOT A SUBDIVISION PURSUANT TO THIS TITLE AND THAT THE LINES OF STREETS AND WAYS SHOWN ARE THOSE OF PUBLIC OR PRIVATE STREETS OR WAYS ALREADY ESTABLISHED AND THAT NO NEW WAYS ARE SHOWN. (RSA 676:16)
DATE: 11/21/02 BY: KEVIN W. MCGEANEY LLS # 661

SHEET 2 OF 7

CONSERVATION EASEMENT PLAN
OF
STRAFFORD COUNTY LANDS
PREPARED FOR THE
SOCIETY FOR THE PROTECTION
OF NEW HAMPSHIRE FORESTS
TAX MAP B, LOT No. 20 & TAX MAP C, LOT No. 4
COUNTY FARM ROAD and
COUNTY FARM CROSS ROAD
DOVER, STRAFFORD COUNTY, NEW HAMPSHIRE

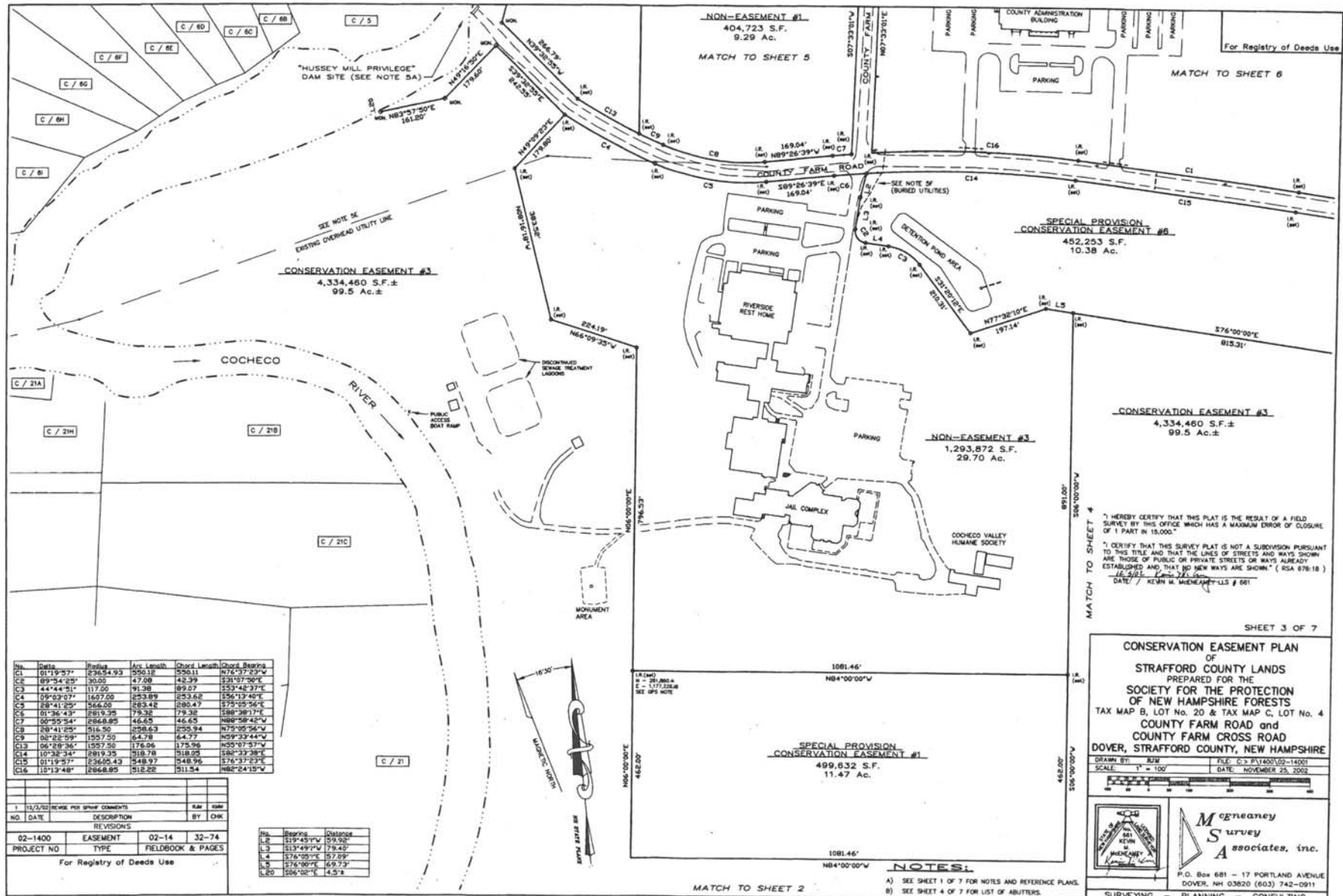
DRAWN BY: ALM	FILE: C-2 P(1400)02-1400
SCALE: 1" = 100'	DATE: NOVEMBER 25, 2002

McGeaney Survey Associates, inc.
P.O. Box 681 - 17 PORTLAND AVENUE
DOVER, NH 03820 (603) 742-0911
SURVEYING - PLANNING - CONSULTING

NO.	DATE	REVISIONS	REVISOR	CHK
1	12/3/02	REVISE PER SHAFR COMMENTS	ALM	KWM
		DESCRIPTION	BY	CHK
02-1400	EASEMENT	02-14	32-74	
PROJECT NO.	TYPE	FIELDBOOK & PAGES		

For Registry of Deeds Use

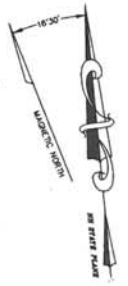
NOTES:
A) SEE SHEET 1 OF 7 FOR NOTES AND REFERENCE PLANS
B) SEE SHEET 4 OF 7 FOR LIST OF ABUTTERS



Sta.	Bearing	Distance	Ac. Length	Chord Length	Chord Bearing
C1	01°19'27"	23654.93	530.12	530.11	87°45'22"W
C2	89°54'25"	30.00	47.08	42.29	33°07'30"E
C3	44°44'51"	117.00	91.38	89.07	25°42'37"E
C4	09°03'37"	1007.00	853.89	853.62	354°13'49"E
C5	28°41'25"	566.00	883.42	880.47	57°05'56"E
C6	01°36'43"	2819.35	79.32	79.32	188°30'17"E
C7	00°25'34"	2868.85	46.65	46.65	188°28'42"W
C8	28°41'25"	516.50	258.63	235.94	87°05'56"W
C9	08°22'59"	1557.50	64.78	64.77	109°33'44"W
C10	04°08'36"	1557.50	176.95	176.96	109°01'51"W
C11	10°32'34"	8819.35	518.78	518.05	182°33'38"E
C12	01°19'27"	23665.43	548.97	548.96	174°31'23"E
C13	01°19'48"	23668.89	512.22	511.54	186°24'19"W

1. 11/2/02 REVIEW FOR SIGNATURE COMMENTS		RAM	KRM
NO.	DATE	DESCRIPTION	BY
REVISIONS			
02-1400	EASEMENT	02-14	32-74
PROJECT NO.	TYPE	FIELDBOOK & PAGES	
For Registry of Deeds Use			

NO.	Bearing	Distance
L2	219°45'11"W	59.92
L3	313°49'11"W	79.40
L4	374°05'11"E	87.59
L5	376°00'00"E	69.73
L6	326°00'00"E	45.2



I HEREBY CERTIFY THAT THIS PLAN IS THE RESULT OF A FIELD SURVEY BY THIS OFFICE WHICH HAS A MAXIMUM ERROR OF CLOSURE OF 1 PART IN 15,000."

I CERTIFY THAT THIS SURVEY PLAN IS NOT A SUBDIVISION PURSUANT TO THIS TITLE AND THAT THE LINES OF STREETS AND WAYS SHOWN ARE THOSE OF PUBLIC OR PRIVATE STREETS OR WAYS ALREADY ESTABLISHED AND THAT NO NEW WAYS ARE SHOWN."

DATE: 11/2/02
BY: KEVIN M. MCKENNEY - LLS # 661

CONSERVATION EASEMENT PLAN
OF
STRAFFORD COUNTY LANDS
PREPARED FOR THE
SOCIETY FOR THE PROTECTION OF NEW HAMPSHIRE FORESTS
TAX MAP B, LOT No. 20 & TAX MAP C, LOT No. 4
COUNTY FARM ROAD AND COUNTY FARM CROSS ROAD
DOVER, STRAFFORD COUNTY, NEW HAMPSHIRE

DRAWN BY: KRM FILE: C-2 PL1400-02-1400
SCALE: 1" = 100' DATE: NOVEMBER 23, 2002

Mgney
Survey
Associates, inc.

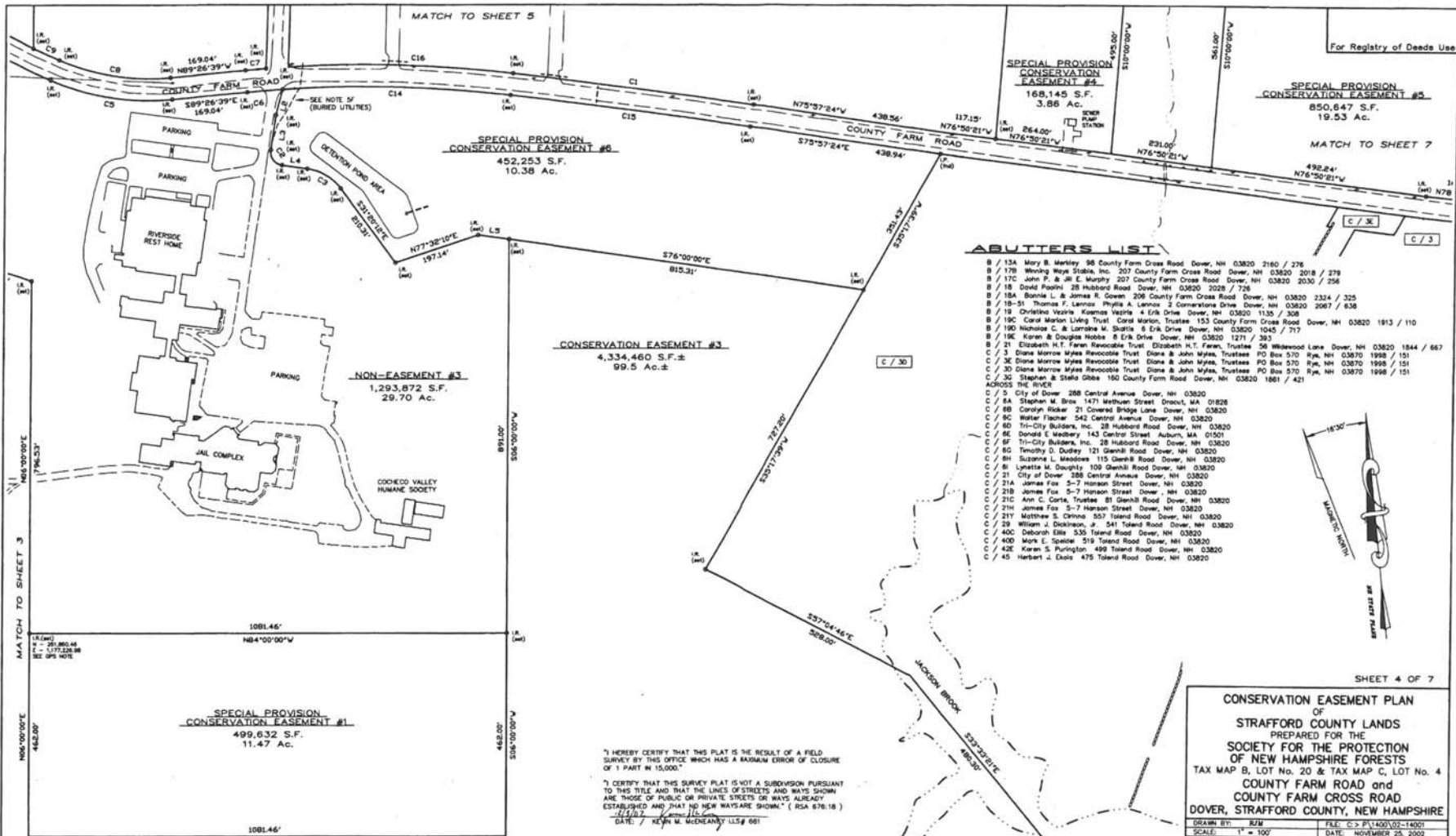
P.O. Box 681 - 17 PORTLAND AVENUE
DOVER, NH 03820 (603) 742-0911

SURVEYING - PLANNING - CONSULTING

- NOTES:**
- SEE SHEET 1 OF 7 FOR NOTES AND REFERENCE PLANS.
 - SEE SHEET 4 OF 7 FOR LIST OF ABUTTERS.

PLAN 08-7

LEJLD



SPECIAL PROVISION CONSERVATION EASEMENT #4
168,145 S.F.
3.86 Ac.

SPECIAL PROVISION CONSERVATION EASEMENT #5
850,647 S.F.
19.53 Ac.

SPECIAL PROVISION CONSERVATION EASEMENT #6
452,253 S.F.
10.38 Ac.

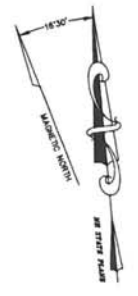
CONSERVATION EASEMENT #3
4,334,460 S.F.±
99.5 Ac.±

NON-EASEMENT #3
1,293,872 S.F.
29.70 Ac.

SPECIAL PROVISION CONSERVATION EASEMENT #1
499,632 S.F.
11.47 Ac.

ABUTTERS LIST

- B / 13A Mary B. Markey 96 County Farm Cross Road, Dover, NH 03820 2160 / 278
 - B / 17B Winding Ways Stable, Inc. 207 County Farm Cross Road, Dover, NH 03820 2018 / 279
 - B / 17C John P. & Jill E. Murphy 207 County Farm Cross Road, Dover, NH 03820 2030 / 258
 - B / 18 David Padon, 28 Hubbard Road, Dover, NH 03820 2028 / 726
 - B / 18A Bonnie L. & James R. Green 208 County Farm Cross Road, Dover, NH 03820 2324 / 325
 - B / 18-51 Thomas F. Lannos Phyllis A. Lannos 2 Cornerstone Drive, Dover, NH 03820 2067 / 638
 - B / 19 Christine Yacine Koussas Yacine 4 Erik Drive, Dover, NH 03820 1135 / 308
 - B / 19C Carol Marlon Living Trust Carol Marlon, Trustee 153 County Farm Cross Road, Dover, NH 03820 1913 / 110
 - B / 19D Nicholas C. & Lorraine M. Skaria 6 Erik Drive, Dover, NH 03820 1045 / 717
 - B / 19E Karen & Douglas Hoole 8 Erik Drive, Dover, NH 03820 1221 / 393
 - B / 21 Elizabeth H.T. Faren Revocable Trust Elizabeth H.T. Faren, Trustee 56 Willowood Lane, Dover, NH 03820 1844 / 667
 - C / 3 Diane Morrow Myas Revocable Trust Diane & John Myas, Trustees PO Box 570 Rye, NH 03870 1998 / 151
 - C / 3E Diane Morrow Myas Revocable Trust Diane & John Myas, Trustees PO Box 570 Rye, NH 03870 1998 / 151
 - C / 3D Diane Morrow Myas Revocable Trust Diane & John Myas, Trustees PO Box 570 Rye, NH 03870 1998 / 151
 - C / 3G Stephen & Sheila Gibbs 150 County Farm Road, Dover, NH 03820 1861 / 421
- ACROSS THE RIVER**
- C / 5 City of Dover 288 Central Avenue, Dover, NH 03820
 - C / 8A Stephen M. Dow 1471 Methuen Street, Dover, NH 03820
 - C / 8B Carolyn Rickard 21 Covered Bridge Lane, Dover, NH 03820
 - C / 8C Walter Fischer 542 Central Avenue, Dover, NH 03820
 - C / 8D Tri-City Builders, Inc. 28 Hubbard Road, Dover, NH 03820
 - C / 8E Donald E. Meadbery 143 Central Street, Auburn, MA 01501
 - C / 8F Tri-City Builders, Inc. 28 Hubbard Road, Dover, NH 03820
 - C / 8G Timothy D. Dudley 121 Glenhill Road, Dover, NH 03820
 - C / 8H Suzanne L. Meadows 115 Glenhill Road, Dover, NH 03820
 - C / 8I Lynette M. Daughly 108 Glenhill Road, Dover, NH 03820
 - C / 21 City of Dover 288 Central Avenue, Dover, NH 03820
 - C / 21A James Fox 5-7 Hanson Street, Dover, NH 03820
 - C / 21B James Fox 5-7 Hanson Street, Dover, NH 03820
 - C / 21C Ann C. Corta, Trustee 81 Glenhill Road, Dover, NH 03820
 - C / 21D James Fox 5-7 Hanson Street, Dover, NH 03820
 - C / 21Y Matthew S. Cimino 507 Toland Road, Dover, NH 03820
 - C / 29 William J. Dickinson, Jr. 541 Toland Road, Dover, NH 03820
 - C / 40C Deborah Ellis 535 Toland Road, Dover, NH 03820
 - C / 40D Mark E. Spaldie 519 Toland Road, Dover, NH 03820
 - C / 42E Karen S. Purington 489 Toland Road, Dover, NH 03820
 - C / 45 Herbert J. Davis 475 Toland Road, Dover, NH 03820



"I HEREBY CERTIFY THAT THIS PLAN IS THE RESULT OF A FIELD SURVEY BY THIS OFFICE WHICH HAS A MAXIMUM ERROR OF CLOSURE OF 1" PART IN 10,000."

"I CERTIFY THAT THIS SURVEY PLAN IS NOT A SUBDIVISION PURSUANT TO THIS TITLE AND THAT THE LINES OF STREETS AND WAYS SHOWN ARE THOSE OF PUBLIC OR PRIVATE STREETS OR WAYS ALREADY ESTABLISHED AND THAT NO NEW WAYS ARE SHOWN." (RSA 876:18)

DATE: / KEVIN M. MCGANEANY LLS# 661

CONSERVATION EASEMENT PLAN OF STRAFFORD COUNTY LANDS PREPARED FOR THE SOCIETY FOR THE PROTECTION OF NEW HAMPSHIRE FORESTS TAX MAP B, LOT No. 20 & TAX MAP C, LOT No. 4 COUNTY FARM ROAD and COUNTY FARM CROSS ROAD DOVER, STRAFFORD COUNTY, NEW HAMPSHIRE

DRAWN BY: KJM FILE: C:\P\1400102-14001
SCALE: 1" = 100' DATE: NOVEMBER 28, 2002

McGaneany Survey Associates, Inc.
P.O. Box 881 - 17 PORTLAND AVENUE
DOVER, NH 03820 (603) 742-0911
SURVEYING - PLANNING - CONSULTING

NO.	DATE	REVISIONS	BY	CHK
1	11/21/02	REVISE PER OWNER COMMENTS	KJM	KJM
2	11/21/02	REVISIONS	BY	CHK

02-1400 EASEMENT 02-14 32-74
PROJECT NO. TYPE FIELDBOOK & PAGES
For Registry of Deeds Use

MATCH TO SHEET 3

No.	Bearing	Distance
L1	S19°45'04"V	59.98'
L2	S13°49'28"V	79.40'
L3	S76°05'03"E	57.09'
L4	S76°05'03"E	57.09'
L5	S76°00'00"E	62.73'

No.	Bearing	Radius	Arc Length	Chord Length	Chord Bearing
C1	01°19'57"	23654.93	950.18	956.11	N76°37'23"V
C2	09°54'25"	30.00	47.68	42.39	S33°03'26"E
C3	44°44'51"	117.00	91.38	89.07	S53°42'37"E
C4	08°41'25"	568.00	383.42	390.47	S75°05'56"E
C5	01°36'43"	2813.33	79.32	79.32	S88°30'11"E
C7	00°55'54"	8848.85	46.65	46.65	N88°38'42"V
C8	08°41'25"	516.50	328.63	325.94	N75°05'56"V
C9	08°22'59"	1537.50	64.38	64.77	N59°33'44"V
C10	01°36'43"	2819.39	518.78	518.05	S88°33'38"E
C11	01°19'57"	23605.43	948.97	948.96	S76°37'23"E
C16	10°13'48"	2868.85	512.22	511.54	N82°24'13"V

NOTES:

- A) SEE SHEET 1 OF 7 FOR NOTES AND REFERENCE PLANS.
- B) SEE SHEET 4 OF 7 FOR LIST OF ABUTTERS.

I HEREBY CERTIFY THAT THIS PLAN IS THE RESULT OF A FIELD SURVEY BY THIS OFFICE WHICH HAS A MAXIMUM ERROR OF CLOSURE OF 1 PART IN 15,000."

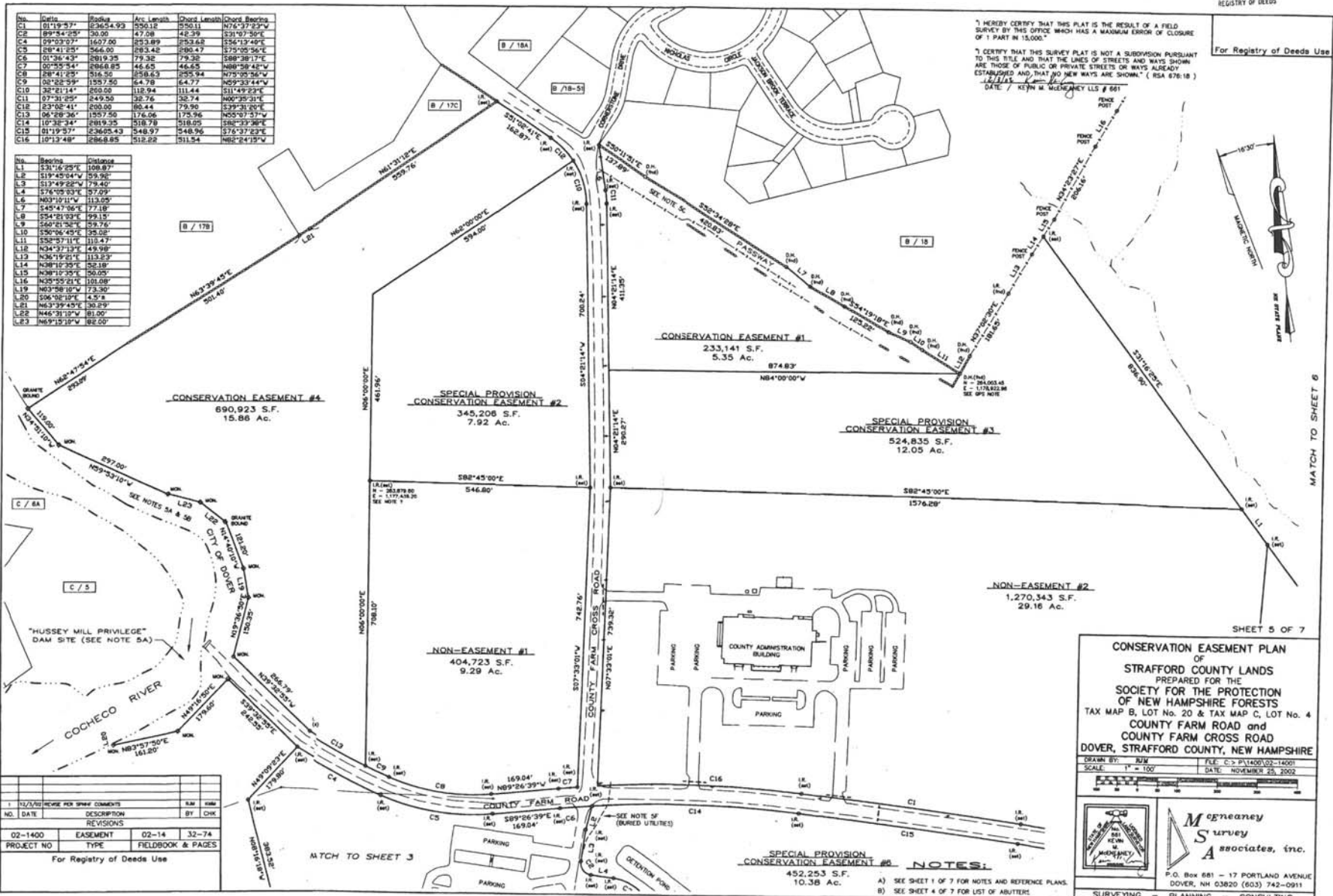
For Registry of Deeds Use

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DATE / KEVIN W. MCGANEY LLS # 661

No.	Bearing	Radius	Arc Length	Chord Length	Chord Bearing
C1	S11°19'57"	63654.93	250.12	250.11	N74°27'27"W
C2	S9°34'25"	30.00	47.08	42.39	S21°07'30"E
C3	S9°23'07"	1607.00	253.89	253.48	S56°13'49"E
C4	S8°41'25"	564.00	283.42	280.47	S7°20'56"E
C5	S1°36'43"	2819.35	79.32	79.32	S88°38'17"E
C6	S0°55'54"	2868.85	46.63	46.63	S88°58'48"W
C7	S8°41'25"	564.00	283.42	280.47	S7°20'56"E
C8	S0°22'59"	1557.50	64.78	64.77	S89°33'44"W
C9	S2°21'14"	205.00	118.94	111.44	S11°49'23"E
C10	S7°31'25"	249.50	32.76	32.74	N00°25'21"E
C11	S23°02'41"	200.00	80.44	79.90	S39°31'20"E
C12	S6°28'36"	1957.50	176.06	175.96	N05°07'37"W
C13	S7°32'34"	2819.35	518.78	518.05	S88°33'36"E
C14	S11°19'57"	23605.43	548.97	548.96	S76°37'23"E
C15	S10°13'48"	2868.85	512.22	511.54	N82°24'19"W

No.	Bearing	Distance
L1	S31°16'29"E	108.87
L2	S19°45'04"W	25.92
L3	S13°49'28"W	79.40
L4	S76°05'33"E	57.29
L5	N03°19'11"W	113.05
L6	S45°47'06"E	27.18
L7	S54°21'02"E	99.15
L8	S60°21'26"E	39.76
L9	S30°06'45"E	35.28
L10	S38°27'11"E	113.47
L11	N34°27'13"E	49.98
L12	N06°19'01"E	113.23
L13	N08°10'31"E	252.88
L14	N38°10'35"E	50.05
L15	N03°20'21"E	101.08
L16	N03°28'07"W	73.50
L17	S06°08'10"E	45.8
L18	N63°39'45"E	30.29
L19	N46°31'07"E	81.00
L20	N69°12'15"W	82.00



NO.	DATE	REVISIONS	DESCRIPTION	BY	CHK
1	12/2/02	REVISED FOR STATE COMMENTS			
2	02-14-00	EASEMENT	02-14	32-74	

For Registry of Deeds Use

CONSERVATION EASEMENT PLAN OF STRAFFORD COUNTY LANDS
 PREPARED FOR THE SOCIETY FOR THE PROTECTION OF NEW HAMPSHIRE FORESTS
 TAX MAP B, LOT No. 20 & TAX MAP C, LOT No. 4
 COUNTY FARM ROAD and DOVER, STRAFFORD COUNTY, NEW HAMPSHIRE

EXAM BY: JWB FILE: C-5 P1408(02-1408)
 SCALE: 1" = 100' DATE: NOVEMBER 25, 2002

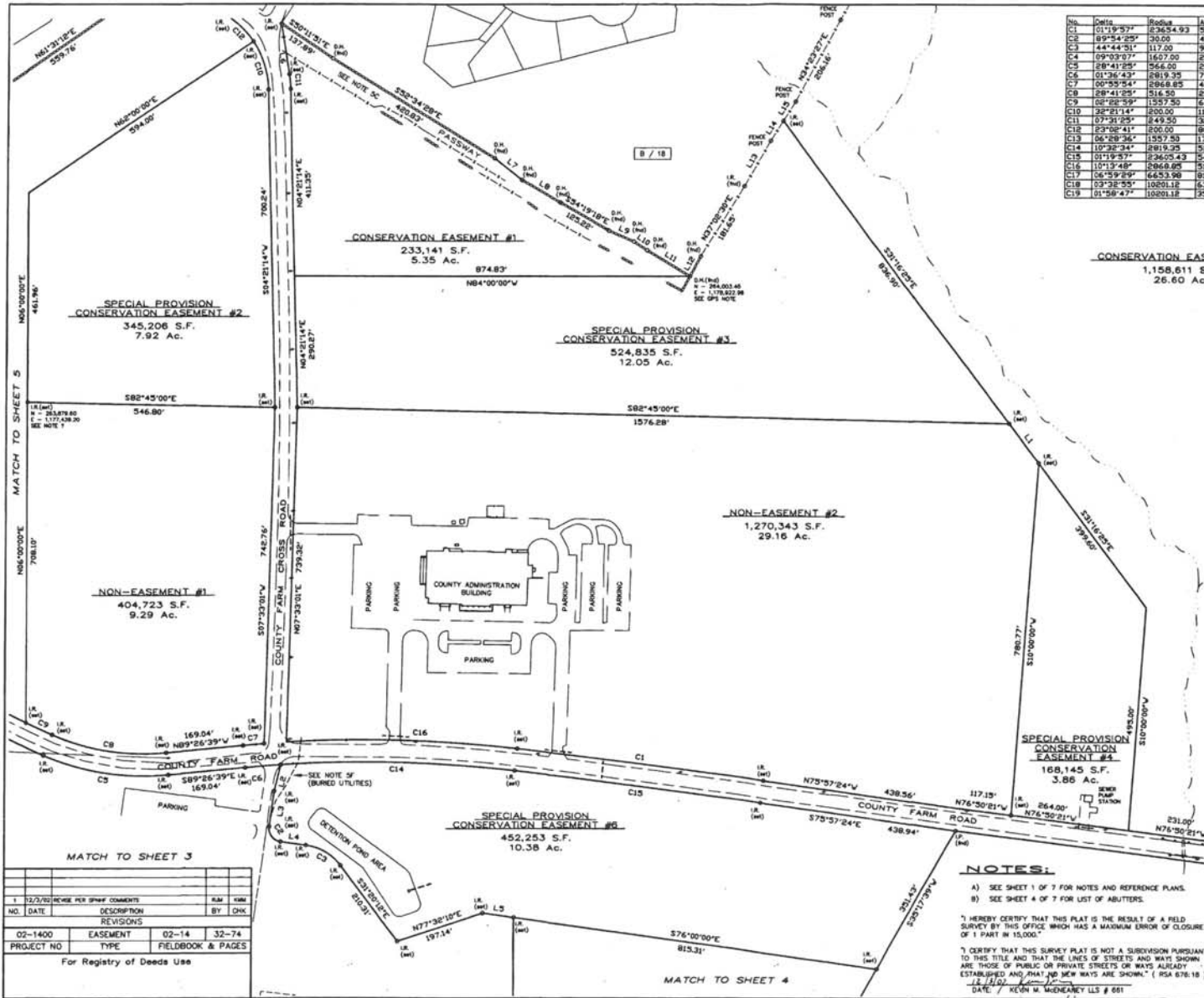
McGaneay Survey Associates, Inc.
 P.O. Box 681 - 17 PORTLAND AVENUE
 DOVER, NH 03820 (603) 742-0911
 SURVEYING - PLANNING - CONSULTING

PLAN 68-9

MATCH TO SHEET 6

SHEET 5 OF 7

NOTES:
 452,253 S.F.
 10.36 Ac.
 A) SEE SHEET 1 OF 7 FOR NOTES AND REFERENCE PLANS.
 B) SEE SHEET 4 OF 7 FOR LIST OF ABUTTERS.



No.	Bearing	Radius	Arc Length	Chord Length	Chord Bearing
C1	01°19'57"	23654.93	506.18	250.11	N76°37'23"W
C2	89°54'25"	30.00	47.09	42.79	S31°07'00"E
C3	44°44'51"	117.00	91.38	89.07	S53°42'37"E
C4	09°33'37"	1607.00	253.89	253.62	S56°12'40"E
C5	88°41'28"	264.00	293.48	300.47	S78°30'56"E
C6	01°36'43"	2819.35	79.32	79.32	S88°38'17"E
C7	00°35'54"	2868.85	46.65	46.65	N88°38'44"W
C8	88°41'28"	214.50	256.43	255.94	N78°30'56"E
C9	00°26'59"	1557.50	64.78	64.77	N59°23'44"W
C10	32°21'14"	200.00	118.94	111.44	S11°49'22"E
C11	07°31'25"	1439.50	32.74	32.74	N69°25'21"E
C12	23°02'41"	200.00	90.44	79.90	S29°31'00"E
C13	32°21'14"	1557.50	176.06	175.96	N55°07'57"W
C14	10°32'34"	2819.35	518.78	518.05	S86°32'38"E
C15	01°19'57"	23654.93	548.97	548.96	S76°37'23"E
C16	10°13'48"	2868.85	512.22	511.54	N82°04'15"W
C17	06°59'29"	6653.90	811.92	811.48	S29°51'12"E
C18	03°32'55"	10201.12	631.81	631.71	S45°07'23"E
C19	01°58'47"	10201.12	352.50	352.48	S47°53'15"E

For Registry of Deeds Use

No.	Bearing	Distance
L1	S31°16'25"E	108.87
L2	S19°45'04"W	59.96
L3	S13°44'23"W	75.48
L4	S76°05'23"E	57.09
L5	S76°00'00"E	65.73
L6	N69°25'21"E	113.09
L7	S45°47'06"E	77.18
L8	S54°21'03"E	99.15
L9	S46°01'58"E	59.74
L10	S50°06'45"E	25.06
L11	S52°57'11"E	110.47
L12	N24°37'13"E	49.98
L13	N38°19'11"E	113.97
L14	N38°19'35"E	52.18
L15	N38°16'35"E	50.05

For Registry of Deeds Use

NO.	DATE	REVISION	DESCRIPTION	BY	CHK
1	02/2/02	REVISION PER CIVIL COMMENTS		RJM	MMB

PROJECT NO: 02-1400
EASEMENT TYPE: 02-14
FIELDBOOK & PAGES: 32-74

CONSERVATION EASEMENT PLAN
OF
STAFFORD COUNTY LANDS
PREPARED FOR THE
SOCIETY FOR THE PROTECTION
OF NEW HAMPSHIRE FORESTS
TAX MAP B, LOT No. 20 & TAX MAP C, LOT No. 4
COUNTY FARM ROAD and
COUNTY FARM CROSS ROAD
DOVER, STAFFORD COUNTY, NEW HAMPSHIRE

DRAWN BY: RJM
SCALE: 1" = 100'
DATE: NOVEMBER 25, 2002

FILE: C:\140002-1400

McGreevey
Survey
Associates, inc.

P.O. Box 681 - 17 PORTLAND AVENUE
DOVER, NH 03820 (603) 742-0911

SURVEYING - PLANNING - CONSULTING

NOTES:

A) SEE SHEET 1 OF 7 FOR NOTES AND REFERENCE PLANS.
B) SEE SHEET 4 OF 7 FOR LIST OF ABUTTERS.

I HEREBY CERTIFY THAT THIS PLAN IS THE RESULT OF A FIELD SURVEY BY THIS OFFICE WHICH HAS A MAXIMUM ERROR OF CLOSURE OF 1 PART IN 15,000.

I CERTIFY THAT THIS SURVEY PLAN IS NOT A SUBDIVISION PURSUANT TO THIS TITLE AND THAT THE LINES OF STREETS AND WAYS SHOWN ARE THOSE OF PUBLIC OR PRIVATE STREETS OR WAYS ALREADY ESTABLISHED AND THAT NO NEW WAYS ARE SHOWN. (RSA 678:18)

DATE: / KEVIN W. MCGREEVEY LLS # 661

PLAN 48-10

SHEET 6 OF 7

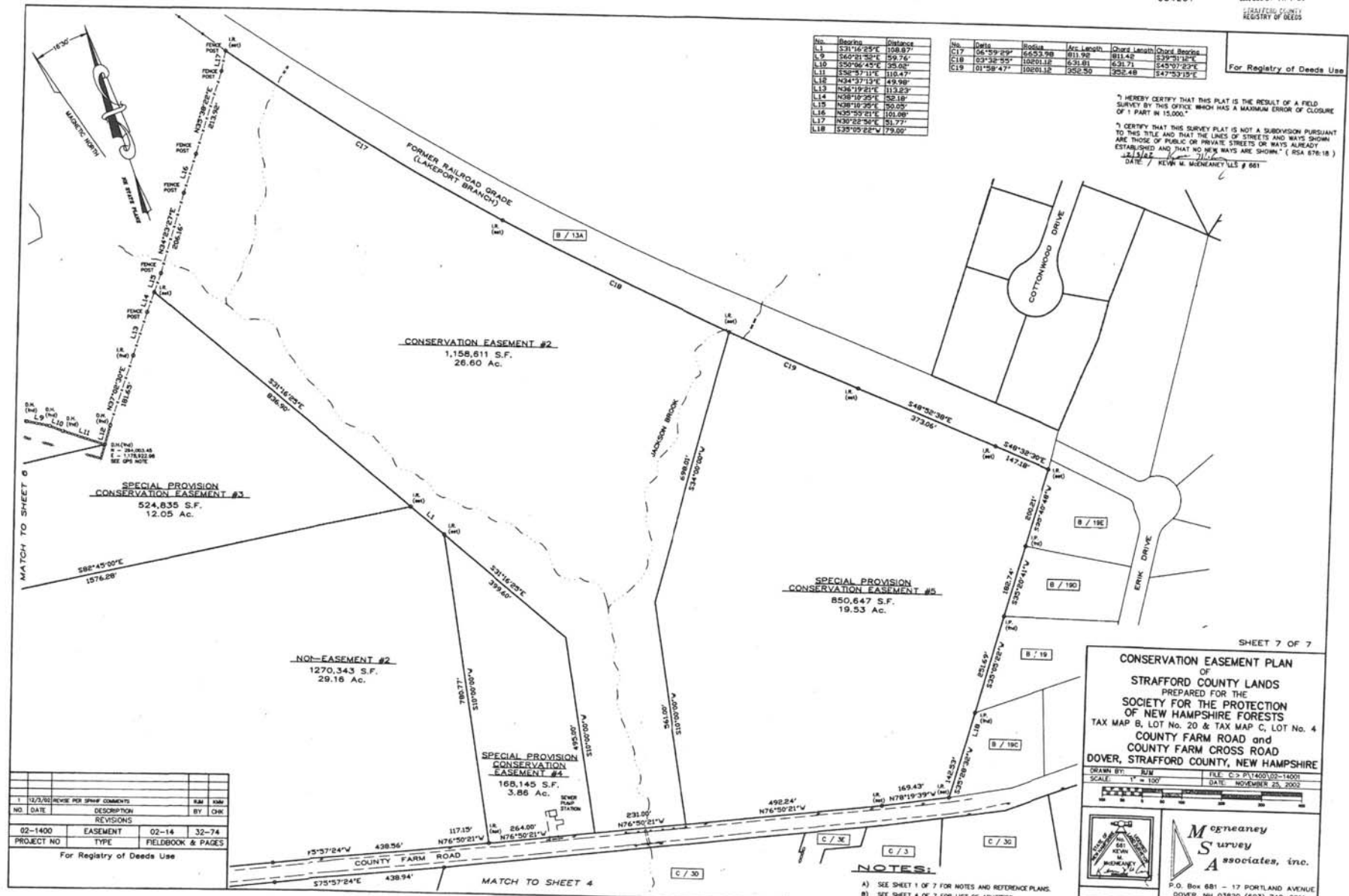
For Registry of Deeds Use

No.	Bearing	Distance
L1	S31°16'25"E	128.87'
L2	S40°21'33"E	59.76'
L3	S50°06'45"E	25.02'
L11	S35°07'11"E	116.47'
L12	N34°37'13"E	49.99'
L13	N06°19'21"E	113.23'
L14	N08°12'25"E	52.18'
L15	N08°18'35"E	50.05'
L16	N05°59'21"E	101.09'
L17	N09°22'34"E	51.77'
L18	S25°25'22"W	79.00'

No.	Date	Radius	Arc Length	Chord Length	Chord Bearing
C17	04°59'59"	6653.98	811.98	811.42	S25°31'32"E
C18	05°32'55"	10001.12	623.81	623.71	S45°07'23"E
C19	01°58'47"	10001.12	252.50	252.48	S47°33'15"E

I HEREBY CERTIFY THAT THIS PLAT IS THE RESULT OF A FIELD SURVEY BY THIS OFFICE WHICH HAS A MAXIMUM ERROR OF CLOSURE OF 1 PART IN 15,000."

I CERTIFY THAT THIS SURVEY PLAT IS NOT A SUBDIVISION PURSUANT TO THIS TITLE AND THAT THE LINES OF STREETS AND WAYS SHOWN ARE THOSE OF PUBLIC OR PRIVATE STREETS OR WAYS ALREADY ESTABLISHED AND THAT NO NEW WAYS ARE SHOWN." (RSA 876:18) 12/3/02
DATE: / KEVIN M. McNEANEY LLS # 661



NO.	DATE	REVISIONS	BY	CHK
1	12/3/02	REVISE PER STATE COMMENTS	RAM	KMM

PROJECT NO.	EASEMENT TYPE	DATE	PAGES
02-1400	EASEMENT	02-14	32-74

For Registry of Deeds Use

CONSERVATION EASEMENT PLAN
OF
STRAFFORD COUNTY LANDS
PREPARED FOR THE
SOCIETY FOR THE PROTECTION
OF NEW HAMPSHIRE FORESTS
TAX MAP B, LOT No. 20 & TAX MAP C, LOT No. 4
COUNTY FARM ROAD and
COUNTY FARM CROSS ROAD
DOVER, STRAFFORD COUNTY, NEW HAMPSHIRE

DRAWN BY: RMM FILE: C-2 P1400102-14001
SCALE: 1" = 100' DATE: NOVEMBER 25, 2002

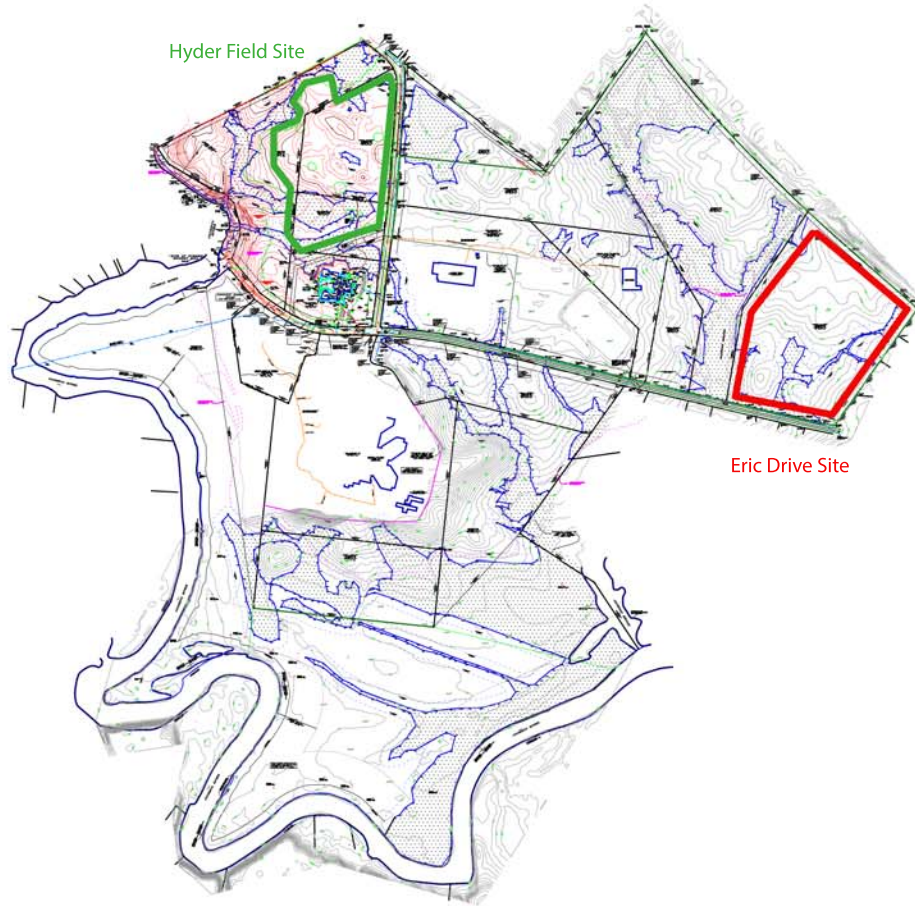
McNeaney
Survey
Associates, inc.
P.O. Box 681 - 17 PORTLAND AVENUE
DOVER, NH 03820 (603) 742-0911
SURVEYING - PLANNING - CONSULTING

NOTES:
A) SEE SHEET 1 OF 7 FOR NOTES AND REFERENCE PLANS.
B) SEE SHEET 4 OF 7 FOR LIST OF ABUTTERS.

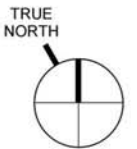
PLAN 44-11

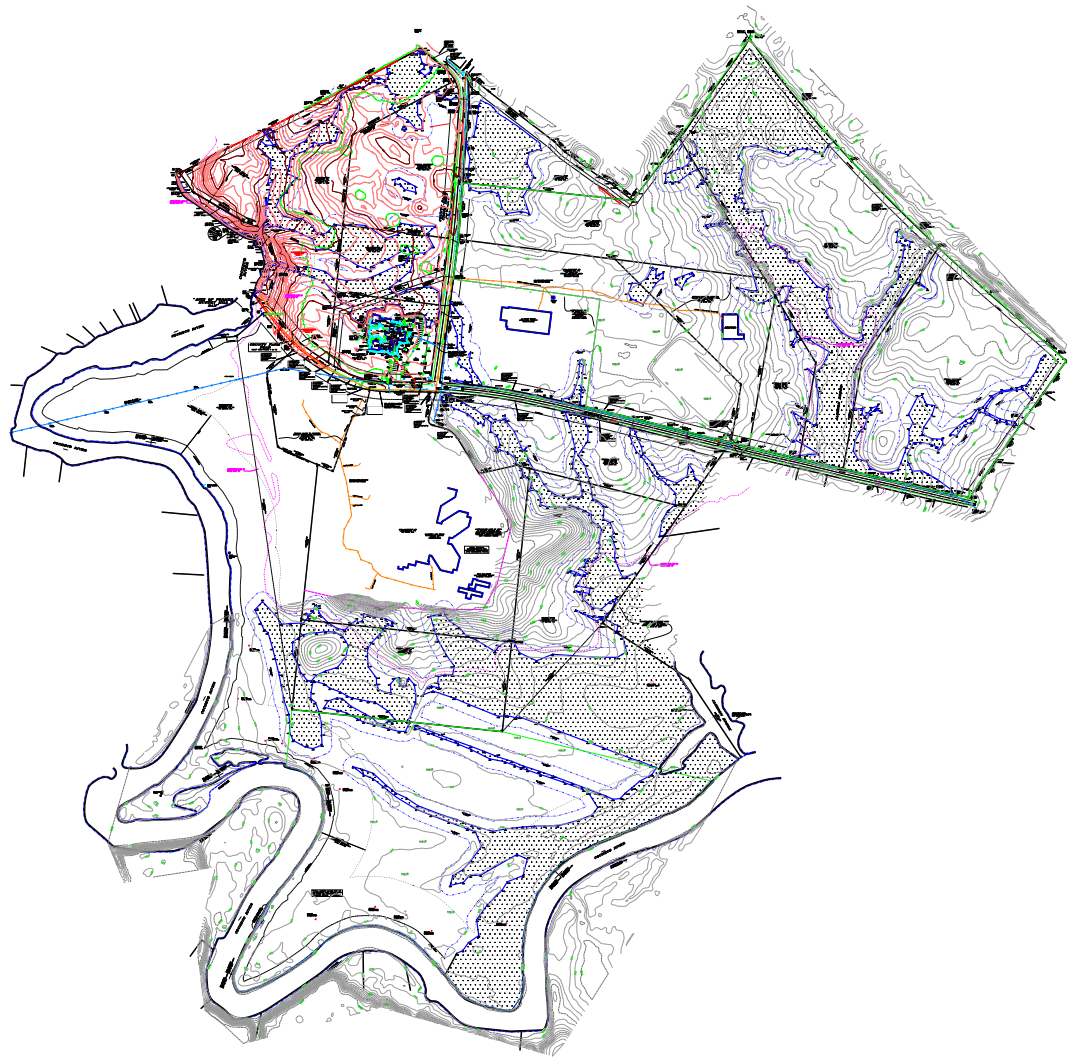
SHEET 7 OF 7

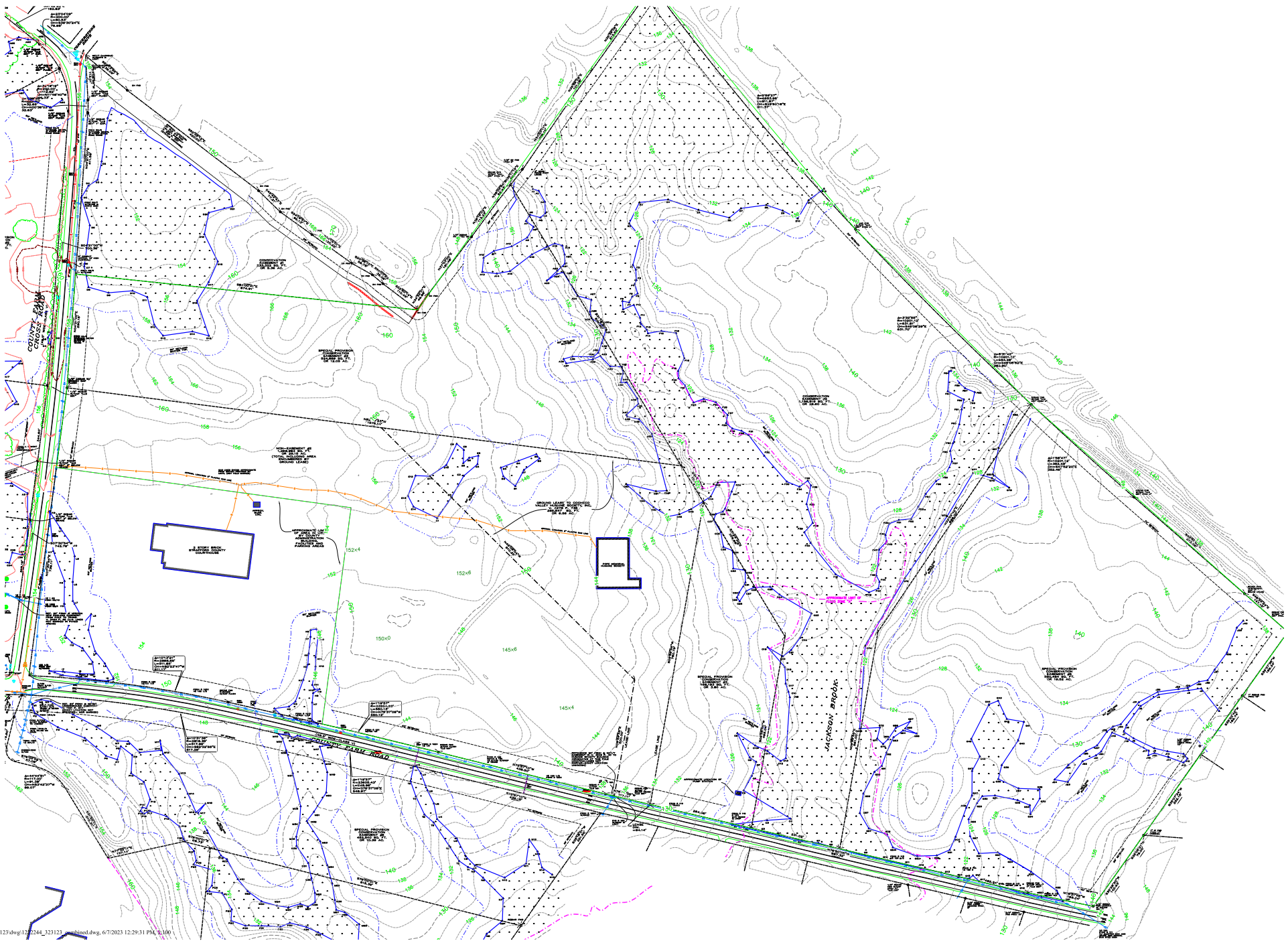
COUNTY FARM ROAD EXISTING CONDITIONS

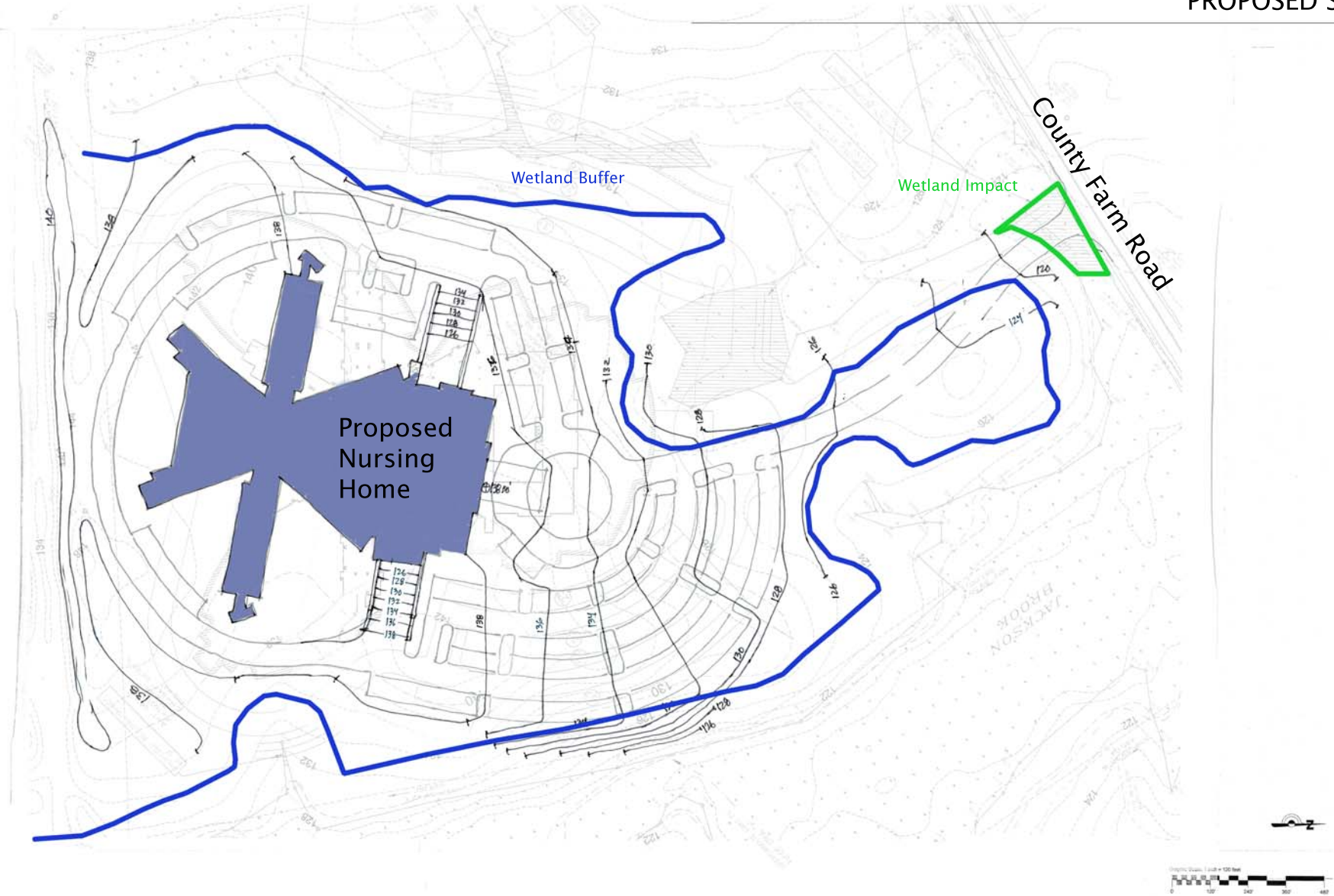


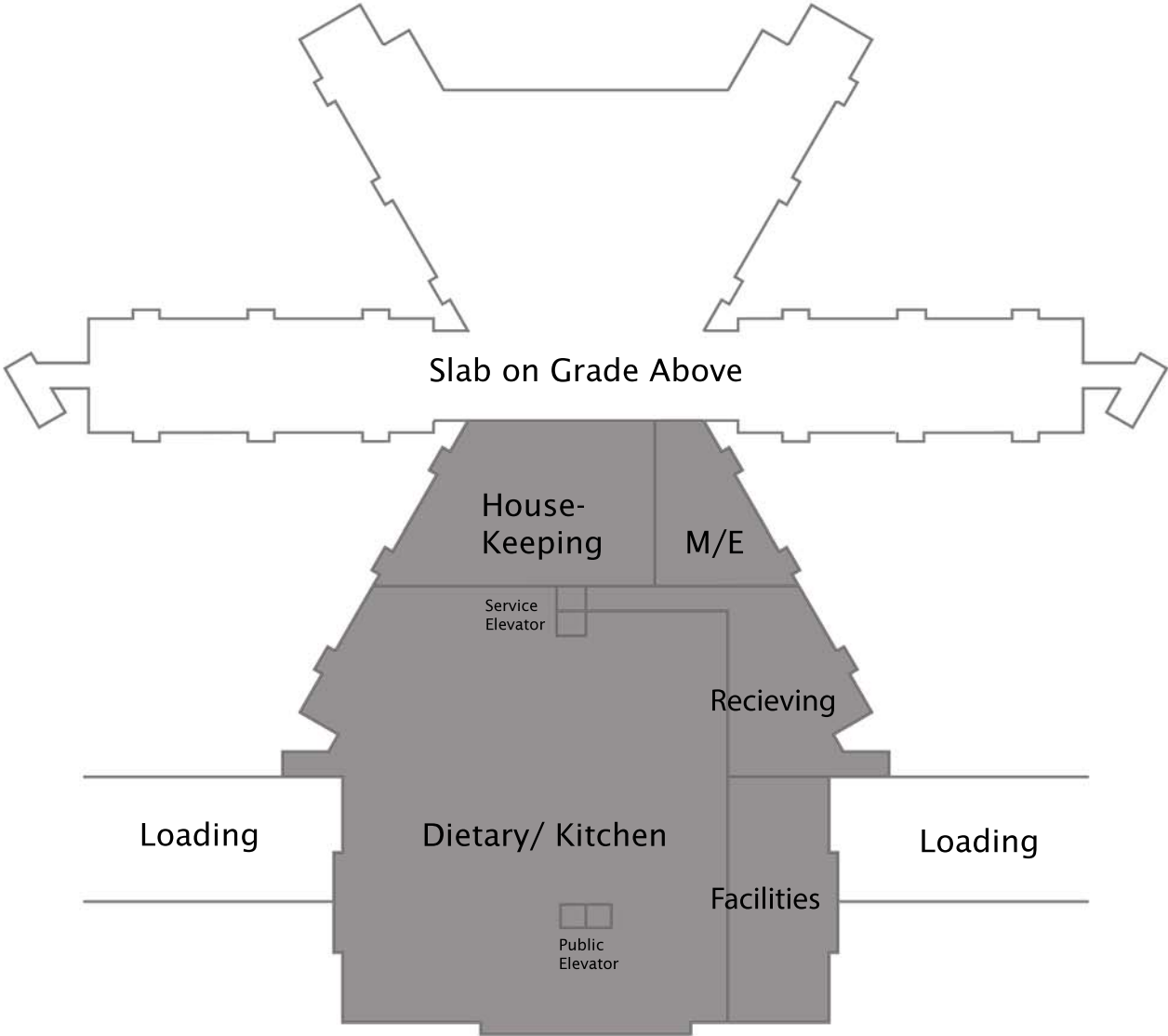
County Farm Survey
1" = 300'

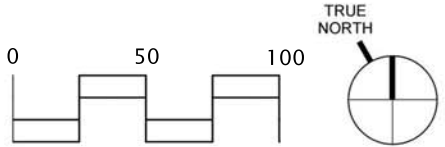
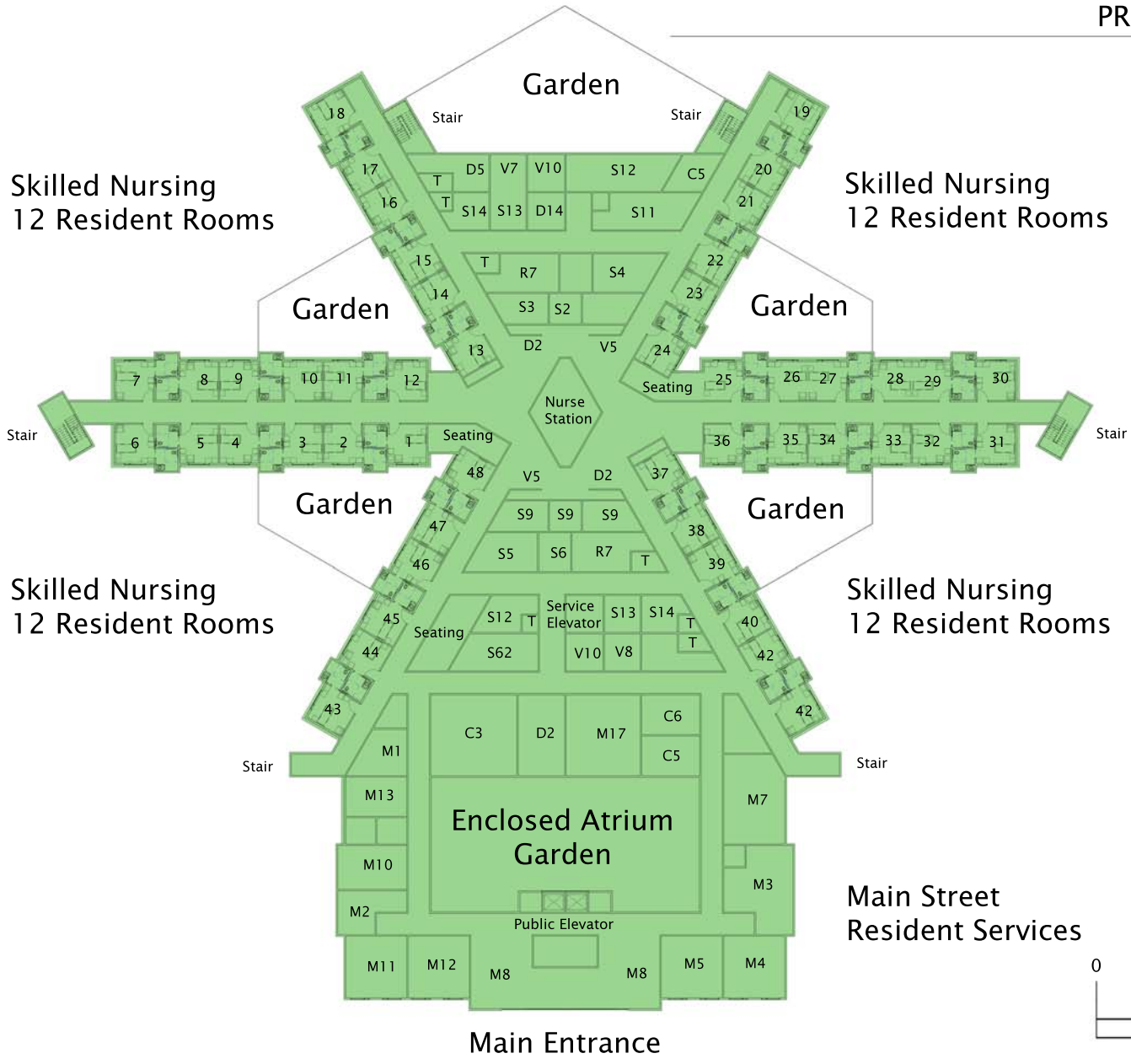


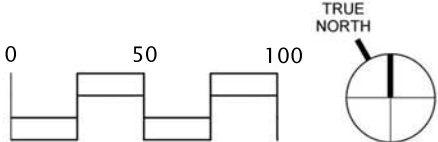
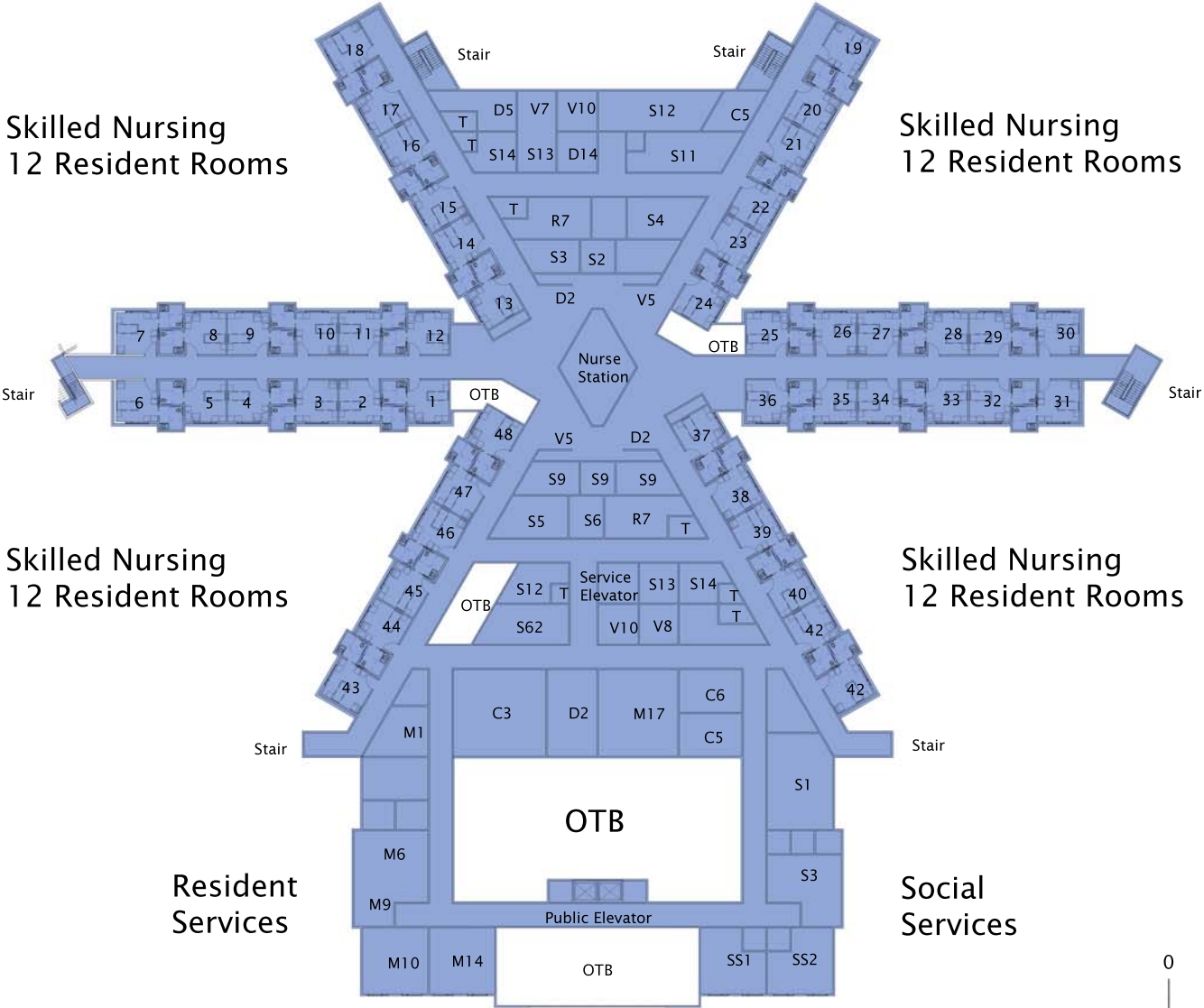


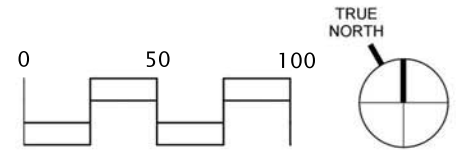
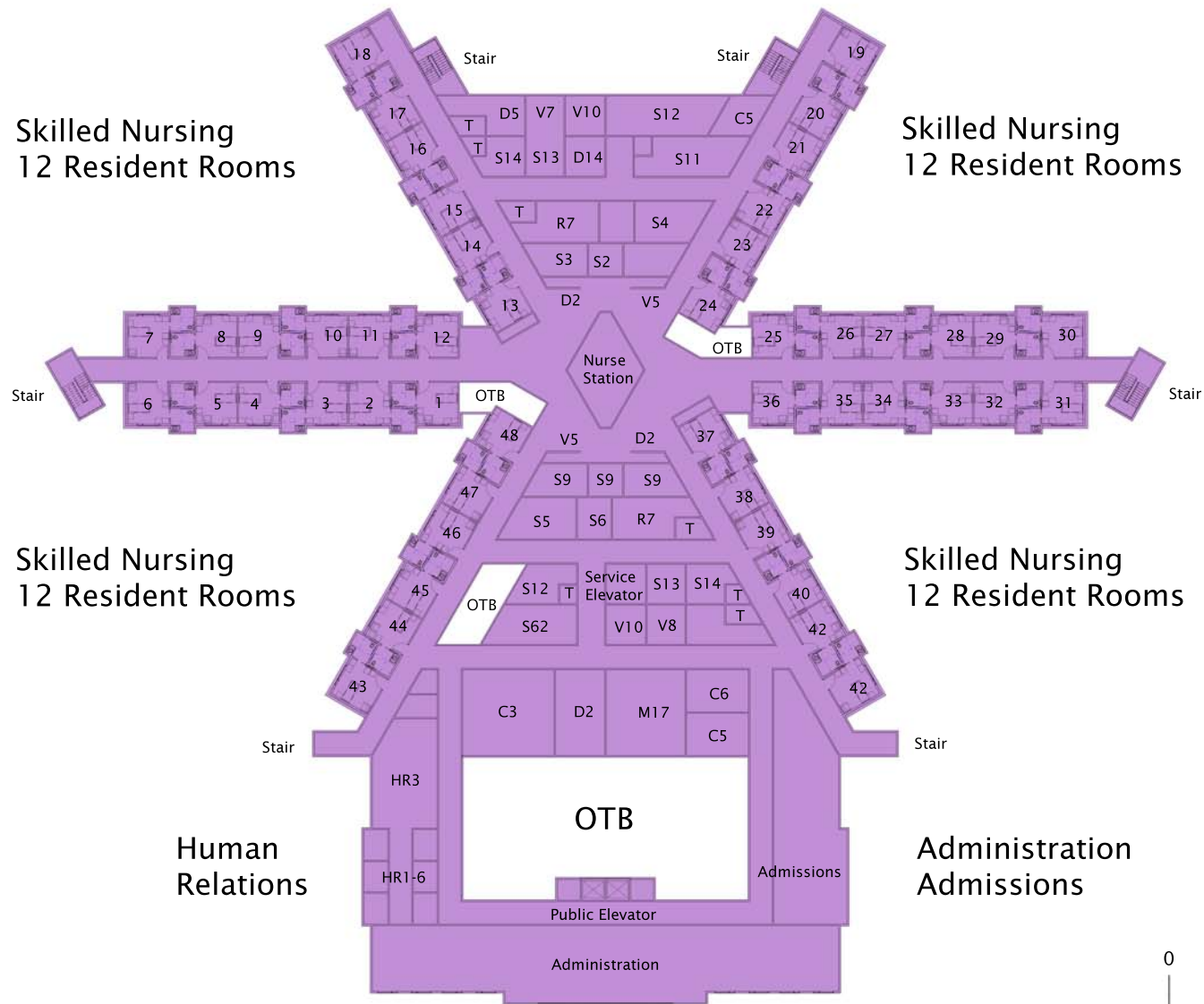




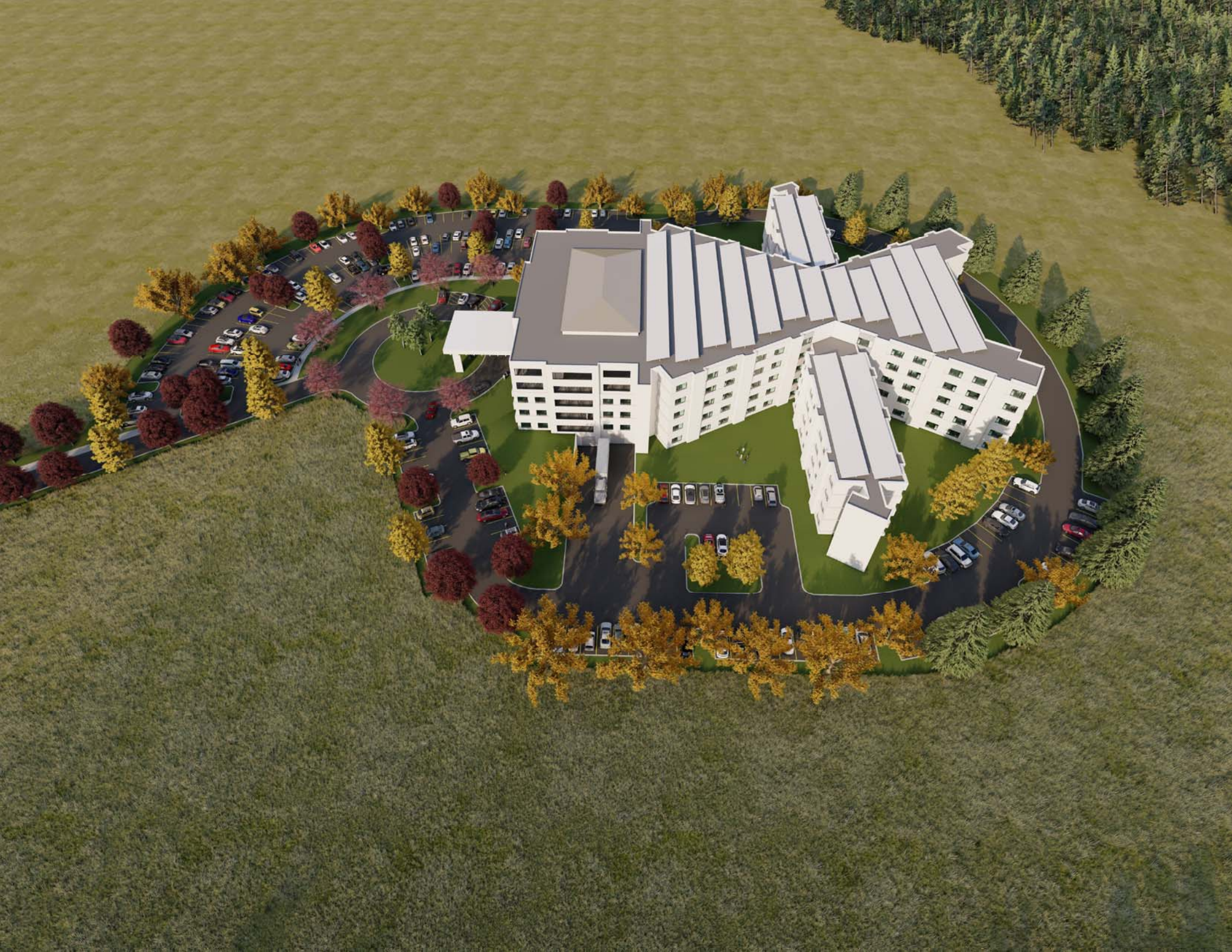




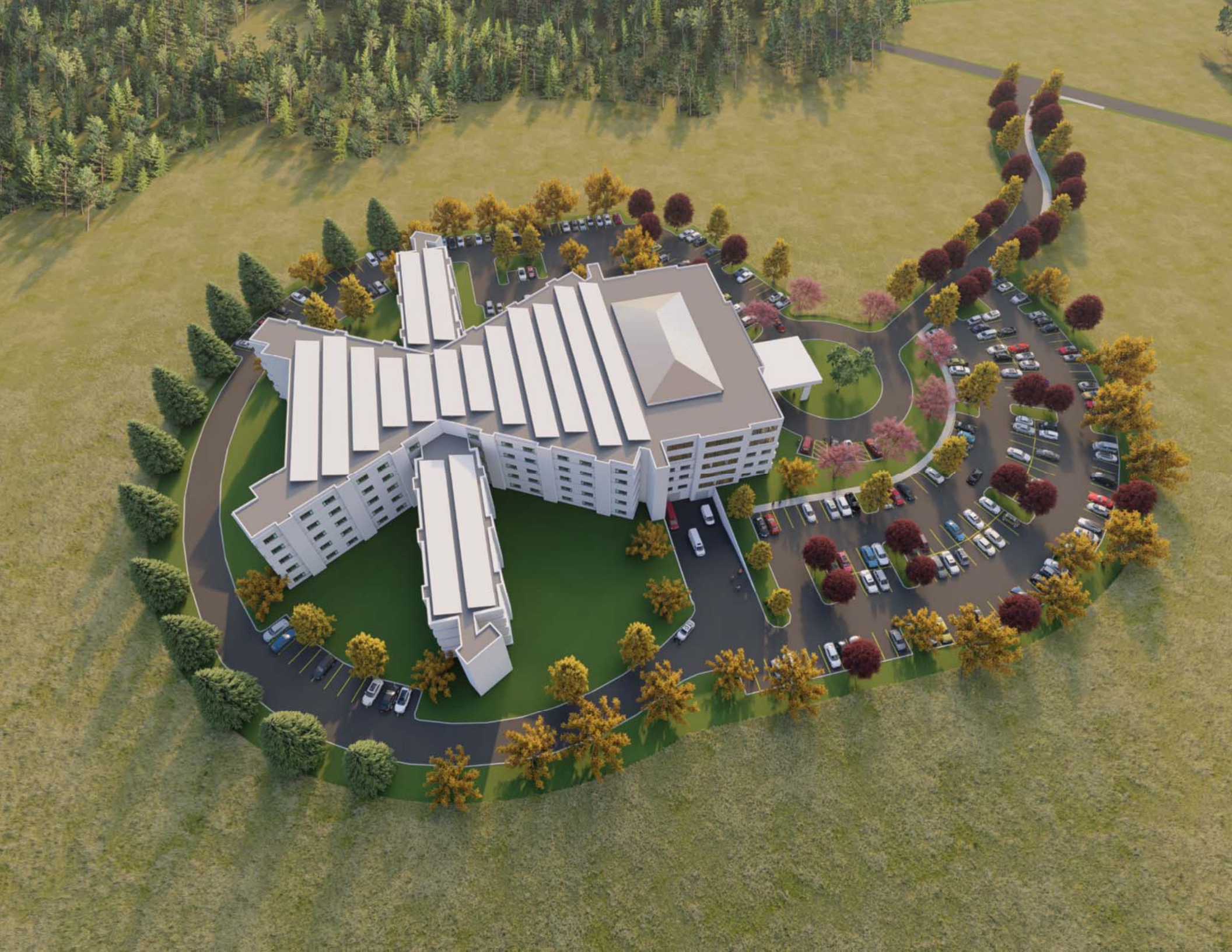
















Group	Phase	Description	Takeoff Quantity	Total Cost/Unit	Total Amount
1000		GC'S & GR'S	30.00 mnth	380,000.00 /mnth	11,400,000
3000		CONCRETE	289,566.00 sf	15.78 /sf	4,570,333
4000		MASONRY	289,566.00 sf	22.02 /sf	6,877,490
5000		METALS	289,566.00 sf	36.04 /sf	10,436,456
6000		WOOD & PLASTIC	289,566.00 sf	15.6 /sf	4,517,230
7000		THERMAL/MOISTURE	289,566.00 sf	15.5 /sf	4,486,962
8000		OPENINGS	289,566.00 sf	14.91 /sf	4,318,341
9000		FINISHES	289,566.00 sf	42.07 /sf	12,183,172
10000		SPECIALTIES	289,566.00 sf	5.29 /sf	1,531,025
11000		EQUIPMENT	289,566.00 sf	10.28 /sf	2,977,451
12000		FURNISHINGS	289,566.00 sf	0.59 /sf	171,913
13000		SPECIAL CONST - SKYLIGHT	289,566.00 sf	3.8 /sf	1,100,000
14000		CONVEYING SYS	289,566.00 sf	4.14 /sf	1,200,000
210000		FIRE SUPPRESSION	289,566.00 sf	6.00 /sf	1,737,396
220000		PLUMBING	289,566.00 sf	25.66 /sf	7,430,264
230000		HVAC	289,566.00 sf	40.65 /sf	11,771,498
260000		ELECTRICAL	289,566.00 sf	39.35 /sf	11,395,661
310000		EARTHWORK	11.00 acre	400,000.00 /acre	4,400,000

Estimate Totals

Description	Amount	Totals	Rate	Cost Basis	Cost per Unit	Percent of Total
Labor						
Material						
Subcontract	102,005,191				352.269 /sf	85.86%
Equipment						
Other						
	102,005,191	102,005,191			352.269 /sf	85.86
Performance & Payment Bond	696,325			B	2.405 /sf	0.59%
P & P Bond Ext over 24 mths	20,401		0.020 %	T	0.070 /sf	0.02%
Builders Risk Insurance	148,507		1.250 \$/	1,000 T	0.513 /sf	0.13%
General Liability & Umbrella P	1,063,314		1.895 %	T	3.672 /sf	0.90%
Software Licenses	166,328		0.140 %	T	0.574 /sf	0.14%
Pre Construction Services %	260,250		0.250 %	T	0.899 /sf	0.22%
CM Contingency %	5,218,016		5.000 %	T	18.020 /sf	4.39%
CM Fee %	3,287,350		3.000 %	T	11.353 /sf	2.77%
Escalation %	5,940,299		5.000 %	T	20.514 /sf	5.00%
Total		118,805,981			410.290 /sf	

October 2022

Const Costs	\$ 144,000,000
FF&E	\$ 3,500,000
Soft Costs	\$ 14,000,000
Owners Contingency	\$ 2,900,000
Inflation	\$ 8,000,000
Totals	\$ 172,400,000
	335,000 sf
	\$514/sf

December 2022

Const Costs	\$ 112,000,000
FF&E	\$ 3,500,000
Soft Costs	\$ 14,000,000
Owners Contingency	\$ 2,900,000
Inflation	\$ 7,000,000
Totals Revised	\$ 139,400,000
	235,000 sf
	\$593/sf

July 2023

Const Costs	\$ 119,000,000
FF&E	\$ 3,500,000
Soft Costs	\$ 14,000,000
Owners Contingency	\$ 2,900,000
Inflation	\$ 7,000,000
Sub-Totals	\$ 146,400,000
	Schematic Contingency 15% \$ 17,850,000
Totals	\$ 164,250,000
	289,500 sf
	\$567/sf

8/23 Current Project Costs \$146M - \$164M



TOTAL SPACES	REQUIRED	PROPOSED
ACCESSIBLE SPACES:	7	255



NOT ISSUED
FOR
CONSTRUCTION

STRAFFORD COUNTY NURSING HOME
DOVER, NEW HAMPSHIRE

NO.	DATE	DESCRIPTION

REVISIONS



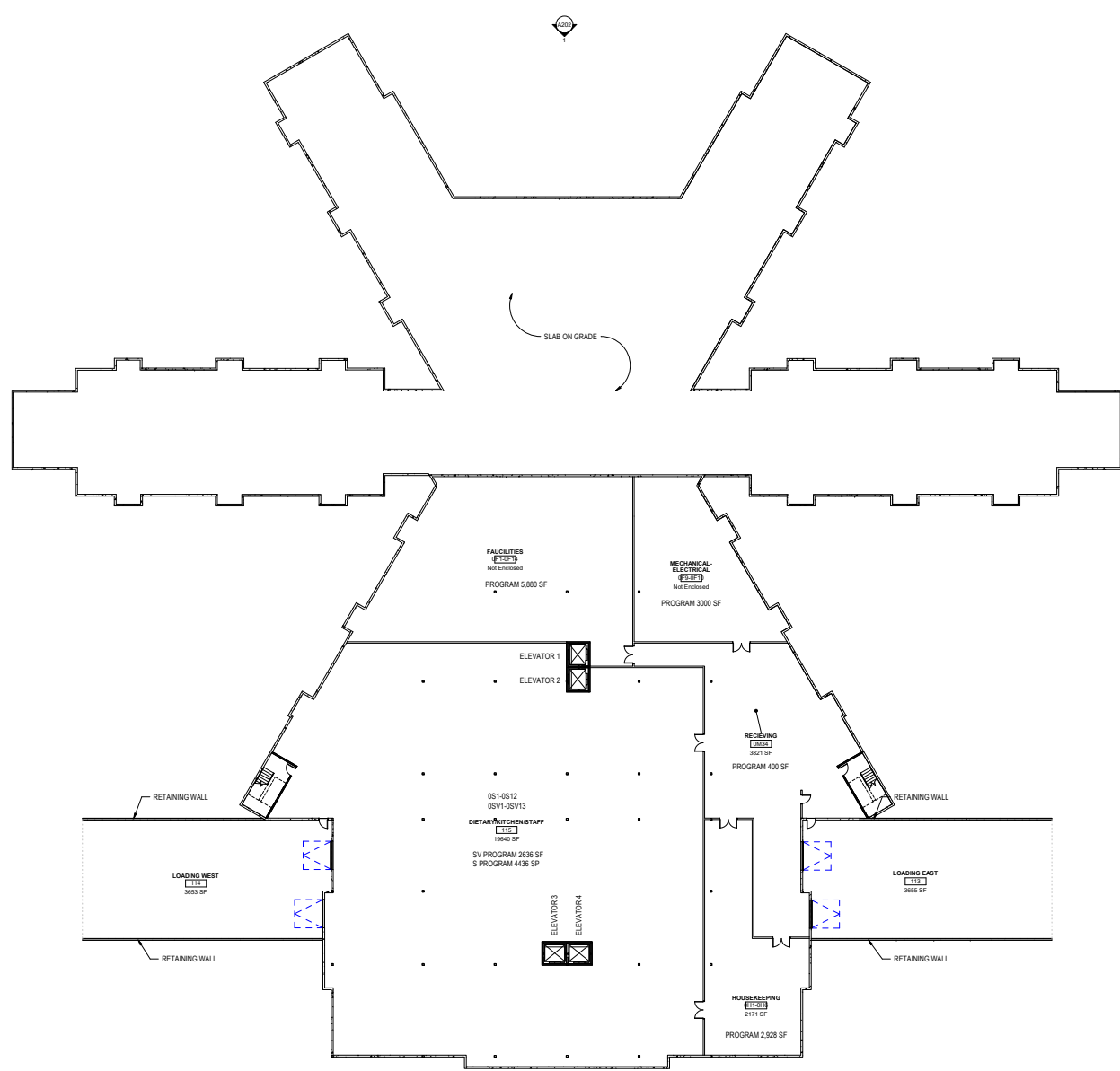
DATE:	JUNE 2023
NOBIS PROJECT NO.:	100475.00
DRAWN BY:	XX
CHECKED BY:	XX
CAD DRAWING FILE:	100475.00-C-200-SITE.dwg

SHEET TITLE

PRELIMINARY LAYOUT

SHEET
C-0

J:\100475.00-Stratford County Nursing Home\CAD\DWG\100475.00-C-200-SITE.dwg, 6/7/2023 1:57 PM



SPACE SUMMARY

BASEMENT	84,333 SQFT
FIRST FLOOR	83,333 SQFT
SECOND FLOOR	83,333 SQFT
THIRD FLOOR	83,333 SQFT
FOURTH FLOOR	83,333 SQFT
FIFTH FLOOR	83,333 SQFT
TOTAL	361,198 SQFT

GENERAL PLAN NOTES

1. ARCHITECTURAL DATUM = 102'-0". THE ARCHITECTURAL DATUM IS INDEPENDENT OF ELEVATIONS SHOWN ON THE CIVIL DRAWINGS. SEE CIVIL DRAWINGS FOR CORRESPONDING DATUM HEIGHT ABOVE SEA LEVEL.
2. ALL DIMENSIONS AT NEW WALLS ARE TO OUTSIDE FACE OF STUDO. FACE OF CONCRETE TO INSIDE FACE OF WALL.
3. DO NOT SCALE DRAWINGS. CONTACT ARCHITECT FOR ANY DISCREPANCY PRIOR TO COMMENCEMENT OF WORK.
4. REFER TO DIMENSION PLANS FOR GENERAL PARTITION NOTES & PARTITION TYPES.
5. VERIFY FIELD CONDITIONS PRIOR TO COMMENCEMENT OF EACH PORTION OF THE WORK. NOTIFY ARCHITECT OF DISCREPANCIES.
6. ALL LUMBER MUST CONTACT BOTH CONCRETE SHALL BE PRESURE TREATED INCLUDING ALL SILL PLATES FOR WOOD STUD WALLS.
7. REVIEW PRIOR TO INSTALLATION ANY CONFLICT OF ENGINEERING TRADE DEVICES (I.E. FIRE ALARMS STRIKES WITH ARCHITECTURAL DETAILS AND BRING THOSE DISCREPANCIES TO THE ARCHITECT FOR REVIEW.
8. PROVIDE BLOCKING FOR MILLWORK, MECHANICAL, ELECTRICAL, PLUMBING FIXTURES AND OTHER ITEMS IDENTIFIED IN THE CONSTRUCTION DOCUMENTS.
9. COORDINATE BASIC STEEL REQUIREMENTS FOR MOUNTING HANGING OWNER SUPPLIED EQUIPMENT.

TO BE EDITED

FLOOR PLAN LEGEND

- DOOR TAG, SEE DOOR SCHEDULE
- WINDOW TAG, SEE WINDOW SCHEDULE
- ACCESSORY TAG, SEE ACCESSORY TYPES & INTERIOR ELEVATIONS
- KEYNOTE, SEE FLOOR PLAN KEYNOTE LEGEND
- STRUCTURAL OUTLINE
- NEW CONSTRUCTION
- EXISTING CONSTRUCTION
- NEW DOOR
- EXISTING DOOR

FLOOR PLAN KEYNOTES

KEY	DESCRIPTION
A	

OWNER

STRAFFORD COUNTY COMMISSIONERS
259 COUNTY FARM RD SUITE 204
DOVER, NH 03820
(603) 742-1458

CONSTRUCTION MANAGER

NO

CONSULTANTS:

CIVIL
NAME
STREET
CITY, STATE, ZIP
TELEPHONE

LANDSCAPE
NAME
STREET
CITY, STATE, ZIP
TELEPHONE

STRUCTURAL
NAME
STREET
CITY, STATE, ZIP
TELEPHONE

PLUMBING / MECHANICAL
NAME
STREET
CITY, STATE, ZIP
TELEPHONE

ELECTRICAL
NAME
STREET
CITY, STATE, ZIP
TELEPHONE

OTHER
NAME
STREET
CITY, STATE, ZIP
TELEPHONE

Warrenstreet
Planning, Landscapes, Architecture, Interiors

27 WARREN STREET
CONCORD, NEW HAMPSHIRE 03301
40 STARK STREET
MANCHESTER, NEW HAMPSHIRE 03103
P. (603) 225-0640
WWW.WARRENSTREET.COOP

SEAL:

PROJECT TITLE / ADDRESS:

STRAFFORD COUNTY NURSING HOME
285 COUNTY FARM CROSS RD
DOVER, NH 03820

PLAN KEY:



1ST FLOOR
SCALE: AS NOTED
PROJECT # 3818
PRINT DATE: 10/4/2023 1:57:55 PM
DRAWN BY: AUTHOR
CHK BY: CHECKER

ISSUE DATE:
ISSUE:
SCHEMATIC DESIGN

REVISION	DATE	COMMENTS

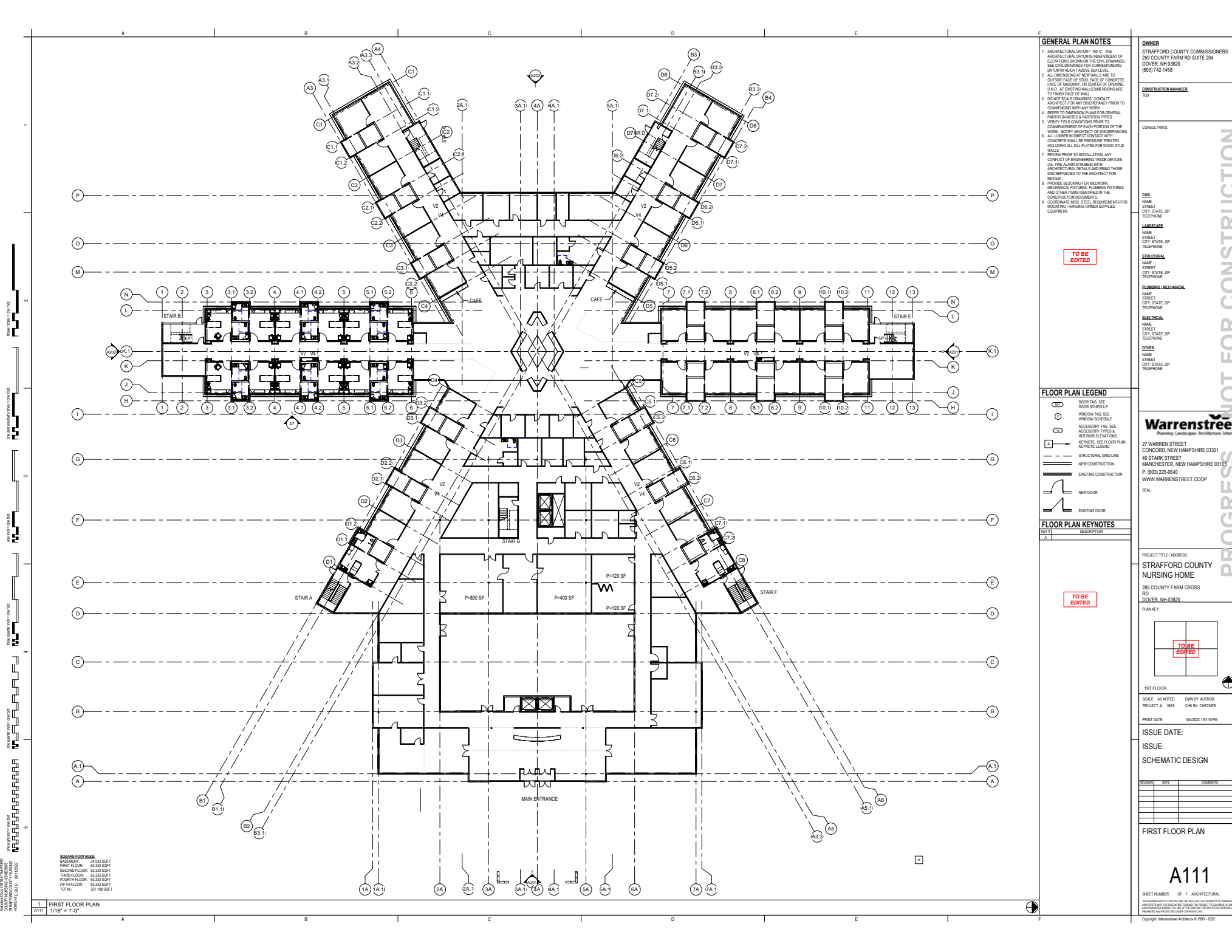
BASEMENT FLOOR PLAN

A110

SHEET NUMBER OF 1 ARCHITECTURAL
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PROGRESS NOT FOR CONSTRUCTION

ARCHITECT: WARRENSTREET ARCHITECTURE
 PROJECT NO: 3818
 SHEET NO: A110
 DATE: 10/1/2023



SQUARE FOOTAGE

BASEMENT	84,533 SQFT
FIRST FLOOR	83,333 SQFT
SECOND FLOOR	83,333 SQFT
THIRD FLOOR	83,333 SQFT
FOURTH FLOOR	83,333 SQFT
FIFTH FLOOR	83,333 SQFT
TOTAL	381,198 SQFT

1 FIRST FLOOR PLAN
1/16" = 1'-0"

GENERAL PLAN NOTES

- 1 ARCHITECTURAL DATUM = 102'-0". THE ARCHITECTURAL DATUM IS INDEPENDENT OF ELEVATIONS SHOWN ON THE CIVIL DRAWINGS. SEE CIVIL DRAWINGS FOR CORRESPONDING DATUM IN HEIGHT ABOVE SEA LEVEL.
- 2 ALL DIMENSIONS AT NEW WALLS ARE TO OUTSIDE FACE OF STUDO. DIMENSIONS ARE TO INSIDE FACE OF WALL.
- 3 DO NOT SCALE DIMENSIONS. CONTACT ARCHITECT FOR ANY DISCREPANCY PRIOR TO COMMENCEMENT OF WORK.
- 4 REFER TO DIMENSION PLANS FOR GENERAL PARTITION NOTES & PARTITION TYPES.
- 5 VERIFY FIELD CONDITIONS PRIOR TO COMMENCEMENT OF EACH PORTION OF THE WORK. NOTIFY ARCHITECT OF DISCREPANCIES.
- 6 ALL LUMBER MUST BE TREATED WITH PRESERVATIVE. CONCRETE SHALL BE PRESTRESS TREATED INCLUDING ALL SILL PLATES FOR WOOD STUD WALLS.
- 7 REVIEW PRIOR TO INSTALLATION ANY CONFLICT OF ENGINEERING TRADE DEVICES (E.G. FIRE ALARM STRIKES WITH ARCHITECTURAL DETAILS) AND BRING THOSE DISCREPANCIES TO THE ARCHITECT FOR REVIEW.
- 8 PROVIDE BLOCKING FOR MILLWORK, MECHANICAL, PLUMBING, ELECTRICAL AND OTHER ITEMS IDENTIFIED IN THE CONSTRUCTION DOCUMENTS.
- 9 COORDINATE BASIC STEEL REQUIREMENTS FOR MOUNTING HANGING OWNER SUPPLIED EQUIPMENT.

TO BE EDITED

FLOOR PLAN LEGEND

- DOOR TAG, SEE DOOR SCHEDULE
- WINDOW TAG, SEE WINDOW SCHEDULE
- ACCESSORY TAG, SEE ACCESSORY TYPES & INTERIOR ELEVATIONS KEYNOTE, SEE FLOOR PLAN KEYNOTE LEGEND
- STRUCTURAL ORDLINE
- NEW CONSTRUCTION
- EXISTING CONSTRUCTION
- NEW DOOR
- EXISTING DOOR

FLOOR PLAN KEYNOTES

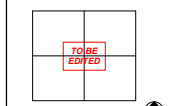
KEYNOTE	DESCRIPTION
A	

TO BE EDITED

OWNER	
STAFFORD COUNTY COMMISSIONERS 259 COUNTY FARM RD SUITE 204 DOVER, NH 03820 (603) 742-1458	
CONSTRUCTION MANAGER	
N/A	
CONSULTANTS	
N/A	
CIVIL	
NAME	
STREET	
CITY, STATE, ZIP	
TELEPHONE	
LANDSCAPE	
NAME	
STREET	
CITY, STATE, ZIP	
TELEPHONE	
STRUCTURAL	
NAME	
STREET	
CITY, STATE, ZIP	
TELEPHONE	
PLUMBING / MECHANICAL	
NAME	
STREET	
CITY, STATE, ZIP	
TELEPHONE	
ELECTRICAL	
NAME	
STREET	
CITY, STATE, ZIP	
TELEPHONE	
OTHER	
NAME	
STREET	
CITY, STATE, ZIP	
TELEPHONE	

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Planning, Landscapes, Architecture, Interiors
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40 STARK STREET
MANCHESTER, NEW HAMPSHIRE 03103
P. (603) 225-0640
WWW.WARRENSTREET.COOP

PROJECT TITLE / ADDRESS:
STAFFORD COUNTY NURSING HOME
285 COUNTY FARM CROSS RD
DOVER, NH 03820



1ST FLOOR
SCALE: AS NOTED DRAWN BY: AUTHOR
PROJECT # 3818 CHK BY: CHECKER

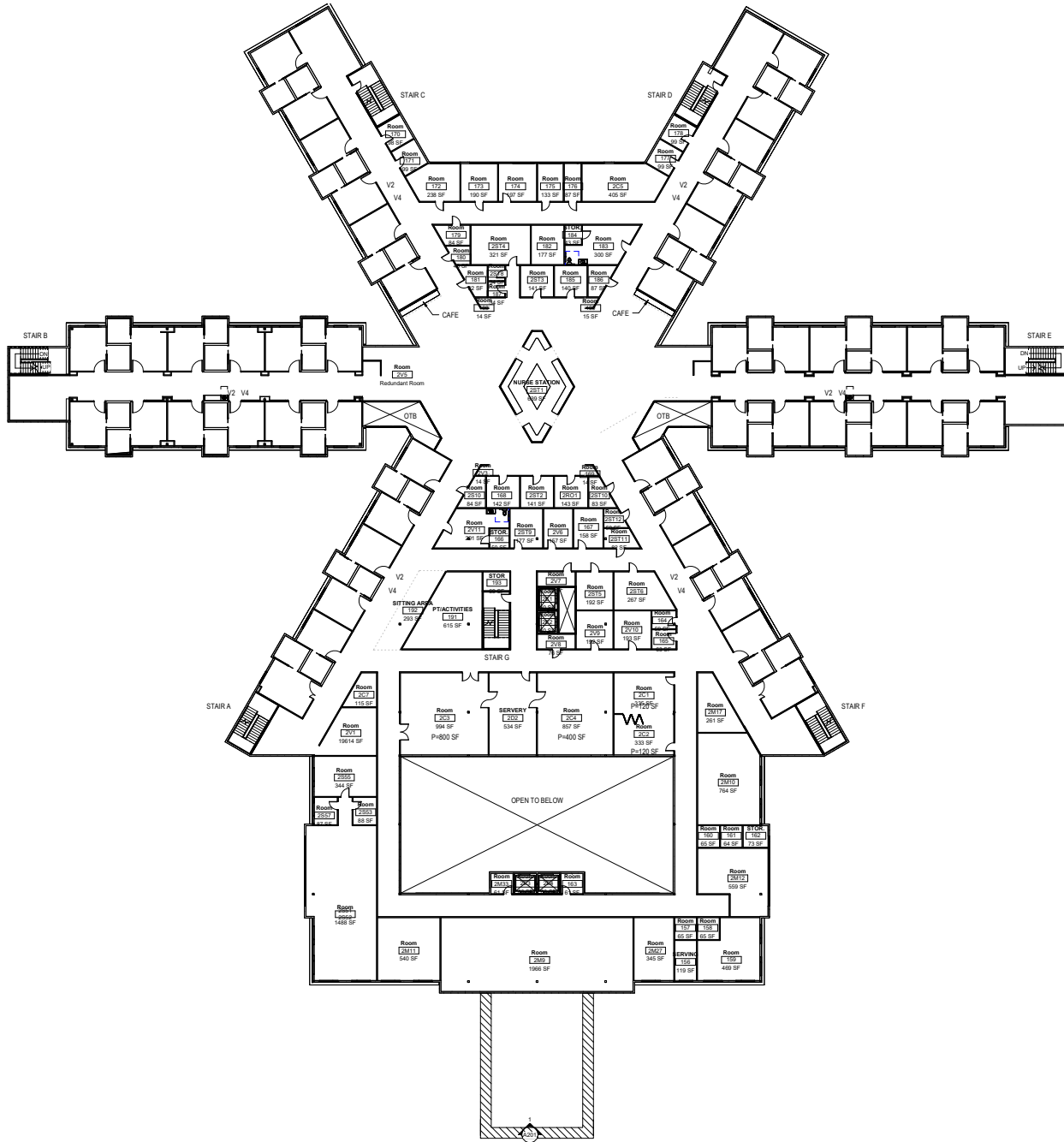
PRINT DATE: 10/20/2023 1:57 PM
ISSUE DATE:
ISSUE:
SCHEMATIC DESIGN

REVISION	DATE	COMMENTS

FIRST FLOOR PLAN

A111
SHEET NUMBER OF 1 ARCHITECTURAL
NO DIMENSIONS OR NOTES SHALL BE THE SOLE AUTHORITY OF WARRENSTREET ARCHITECTURE. THE USER OF THIS PLAN SHALL BE RESPONSIBLE FOR VERIFYING ALL DIMENSIONS AND NOTES TO THE PROJECT AND FOR ANY DISCREPANCIES TO BE REPORTED TO THE ARCHITECT IMMEDIATELY.
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PROGRESS NOT FOR CONSTRUCTION



SOURCE FOOTAGE

BASEMENT	84,333 SQFT
FIRST FLOOR	83,333 SQFT
SECOND FLOOR	83,333 SQFT
THIRD FLOOR	83,333 SQFT
FOURTH FLOOR	83,333 SQFT
FIFTH FLOOR	83,333 SQFT
TOTAL	361,198 SQFT

- GENERAL PLAN NOTES**
- 1 ARCHITECTURAL DATUM = 102' - THE ARCHITECTURAL DATUM IS INDEPENDENT OF ELEVATIONS SHOWN ON THE CIVIL DRAWINGS. SEE CIVIL DRAWINGS FOR CORRESPONDING DATUM HEIGHT ABOVE SEA LEVEL.
 - 2 ALL DIMENSIONS AT NEW WALLS ARE TO OUTSIDE FACE OF STUD. FACE OF CONCRETE, FACE OF MASONRY, OR CENTER OF STUDING, UNLD. AT EXISTING WALLS DIMENSIONS ARE TO INSIDE FACE OF WALL.
 - 3 DO NOT SCALE DRAWINGS. CONTACT ARCHITECT FOR ANY DISCREPANCY PRIOR TO COMMENCEMENT OF WORK.
 - 4 REFER TO DIMENSION PLANS FOR GENERAL PARTITION TYPES AND PARTITION TYPES.
 - 5 VERIFY FIELD CONDITIONS PRIOR TO COMMENCEMENT OF EACH PORTION OF THE WORK. NOTIFY ARCHITECT OF DISCREPANCIES.
 - 6 ALL LUMBER MUST BE TREATED WITH CONCRETE SHALL BE PRESURE TREATED INCLUDING ALL SILL PLATES FOR WOOD STUD WALLS.
 - 7 REVIEW PRIOR TO INSTALLATION ANY CONFLICT OF ENGINEERING TRADE DEVICES (I.E. FIRE ALARM STRIKES WITH ARCHITECTURAL DETAILS AND BRING THOSE DISCREPANCIES TO THE ARCHITECT FOR REVIEW.
 - 8 PROVIDE BLOOMING FOR MILLWORK, MECHANICAL FIXTURES, PLUMBING FIXTURES AND OTHER ITEMS IDENTIFIED IN THE CONSTRUCTION DOCUMENTS.
 - 9 COORDINATE REIN. STEEL REQUIREMENTS FOR MOUNTING HANGING OWNER SUPPLIED EQUIPMENT.

TO BE EDITED

- FLOOR PLAN LEGEND**
- DOOR TAG, SEE DOOR SCHEDULE
 - WINDOW TAG, SEE WINDOW SCHEDULE
 - ACCESSORY TAG, SEE ACCESSORY TYPES & INTERIOR ELEVATIONS
 - KEYNOTE, SEE FLOOR PLAN KEYNOTE LEGEND
 - STRUCTURAL OUTLINE
 - NEW CONSTRUCTION
 - EXISTING CONSTRUCTION
 - NEW DOOR
 - EXISTING DOOR

- FLOOR PLAN KEYNOTES**
- | | |
|------|-------------|
| DATE | DESCRIPTION |
| A | |

TO BE EDITED

OWNER
STRAFFORD COUNTY COMMISSIONERS
259 COUNTY FARM RD SUITE 204
DOVER, NH 03820
(603) 742-1458

CONSTRUCTION MANAGER
TBC

CONSULTANTS:

CIVIL
NAME
STREET
CITY, STATE, ZIP
TELEPHONE

LANDSCAPE
NAME
STREET
CITY, STATE, ZIP
TELEPHONE

STRUCTURAL
NAME
STREET
CITY, STATE, ZIP
TELEPHONE

PLUMBING / MECHANICAL
NAME
STREET
CITY, STATE, ZIP
TELEPHONE

ELECTRICAL
NAME
STREET
CITY, STATE, ZIP
TELEPHONE

OTHER
NAME
STREET
CITY, STATE, ZIP
TELEPHONE

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40 STARK STREET
MANCHESTER, NEW HAMPSHIRE 03103
P. (603) 225-0640
WWW.WARRENSTREET.COOP

PROJECT TITLE / ADDRESS:
STRAFFORD COUNTY
NURSING HOME
285 COUNTY FARM CROSS
RD
DOVER, NH 03820



1ST FLOOR

SCALE: AS NOTED
PROJECT # 3818
PRINT DATE: 10/24/2023 1:57:25 PM

ISSUE DATE:
ISSUE:
SCHEMATIC DESIGN

REVISION	DATE	COMMENTS

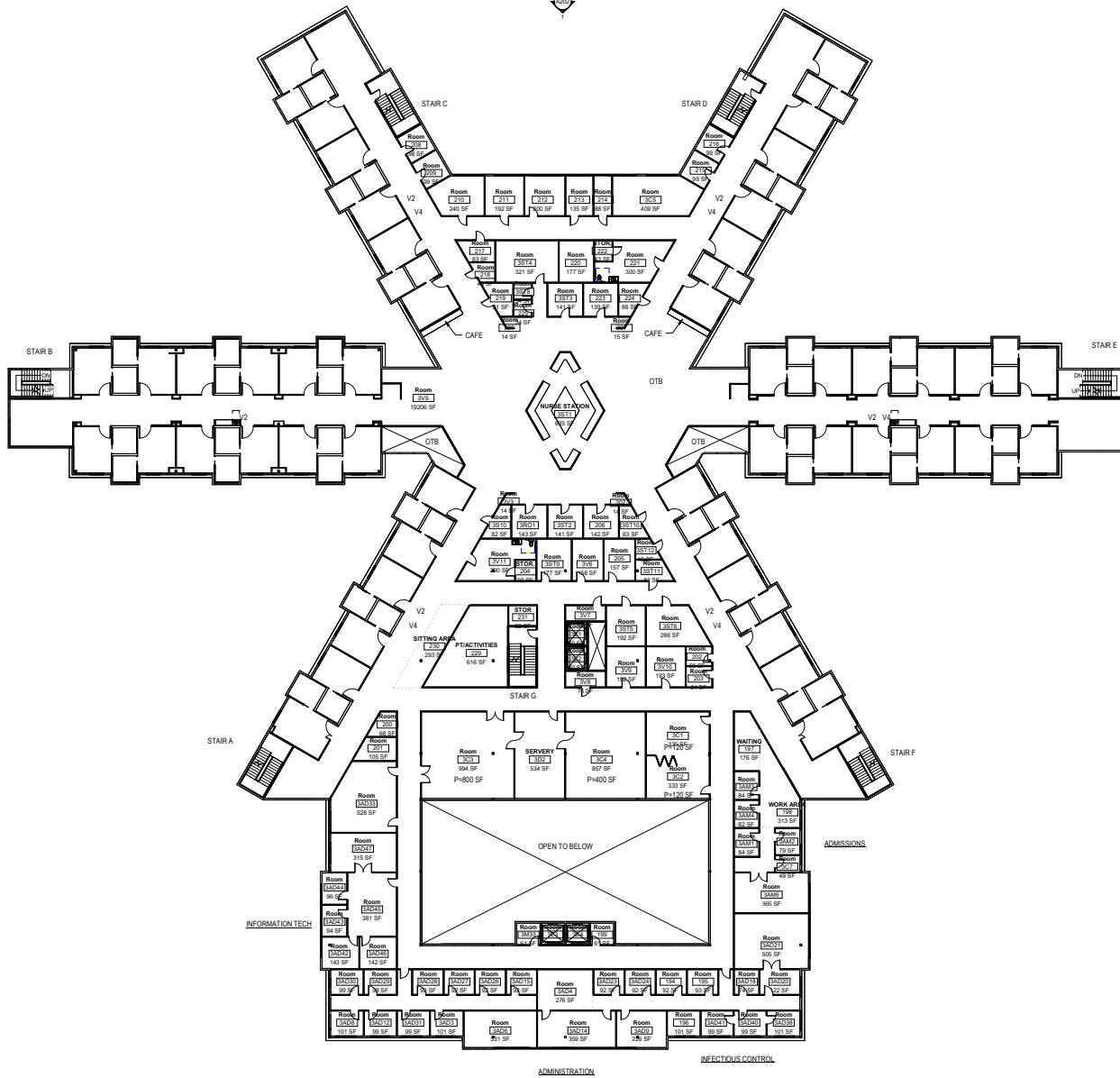
SECOND FLOOR PLAN

A112

SHEET NUMBER: OF 1 ARCHITECTURAL

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PROGRESS NOT FOR CONSTRUCTION



GENERAL PLAN NOTES

1. ARCHITECTURAL DATUM = 102'-0". THE ARCHITECTURAL DATUM IS INDEPENDENT OF ELEVATIONS SHOWN ON THE CIVIL DRAWINGS. SEE CIVIL DRAWINGS FOR CORRESPONDING DATUM HEIGHT ABOVE SEA LEVEL.
2. ALL DIMENSIONS AT NEW WALLS ARE TO OUTSIDE FACE OF STUD. FACE OF CONCRETE, FACE OF MASONRY, OR CENTER OF OPENING UNLESS NOTED OTHERWISE.
3. VERIFY FIELD CONDITIONS PRIOR TO COMMENCEMENT OF EACH PORTION OF THE WORK. NOTIFY ARCHITECT OF DISCREPANCIES.
4. REFER TO DIMENSION PLANS FOR GENERAL PARTITION TYPES AND PARTITION TYPES.
5. VERIFY FIELD CONDITIONS PRIOR TO COMMENCEMENT OF EACH PORTION OF THE WORK. NOTIFY ARCHITECT OF DISCREPANCIES.
6. ALL LUMBER MUST BE PRESSURE TREATED INCLUDING ALL SILL PLATES FOR WOOD STUD WALLS.
7. REVIEW PRIOR TO INSTALLATION ANY CONFLICT OF ENGINEERING TRADE DEVICES (E.G. FIRE ALARMS, SMOKE DETECTORS, ARCHITECTURAL DETAILS) AND BRING THOSE DISCREPANCIES TO THE ARCHITECT FOR REVIEW.
8. PROVIDE BLOOMING FOR MILLWORK, MECHANICAL FIXTURES, PLUMBING FIXTURES AND OTHER ITEMS IDENTIFIED IN THE CONSTRUCTION DOCUMENTS.
9. COORDINATE BASIC STEEL REQUIREMENTS FOR MOUNTING HANGING OWNER SUPPLIED EQUIPMENT.

TO BE EDITED

FLOOR PLAN LEGEND

- DOOR TAG, SEE DOOR SCHEDULE
- WINDOW TAG, SEE WINDOW SCHEDULE
- ACCESSORY TAG, SEE ACCESSORY TYPES & INTERIOR ELEVATIONS
- KEYNOTE, SEE FLOOR PLAN KEYNOTE LEGEND
- STRUCTURAL OUTLINE
- NEW CONSTRUCTION
- EXISTING CONSTRUCTION
- NEW DOOR
- EXISTING DOOR

FLOOR PLAN KEYNOTES

NOTE	DESCRIPTION
A	

TO BE EDITED

OWNER	
STAFFORD COUNTY COMMISSIONERS 259 COUNTY FARM RD SUITE 204 DOVER, NH 03820 (603) 742-1458	
CONSTRUCTION MANAGER	
TBC	
CONSULTANTS	
CIVIL NAME: STREET, CITY, STATE, ZIP, TELEPHONE LANDSCAPE NAME: STREET, CITY, STATE, ZIP, TELEPHONE STRUCTURAL NAME: STREET, CITY, STATE, ZIP, TELEPHONE PLUMBING / MECHANICAL NAME: STREET, CITY, STATE, ZIP, TELEPHONE ELECTRICAL NAME: STREET, CITY, STATE, ZIP, TELEPHONE OTHER NAME: STREET, CITY, STATE, ZIP, TELEPHONE	

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40 STARK STREET
MANCHESTER, NEW HAMPSHIRE 03103
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WWW.WARRENSTREET.COOP

PROJECT TITLE / ADDRESS:
STAFFORD COUNTY NURSING HOME
285 COUNTY FARM CROSS RD
DOVER, NH 03820

SCALE	AS NOTED	DATE	BY	CHECKED

ISSUE DATE:
SCHEMATIC DESIGN

REVISION	DATE	COMMENTS

THIRD FLOOR PLAN

A113

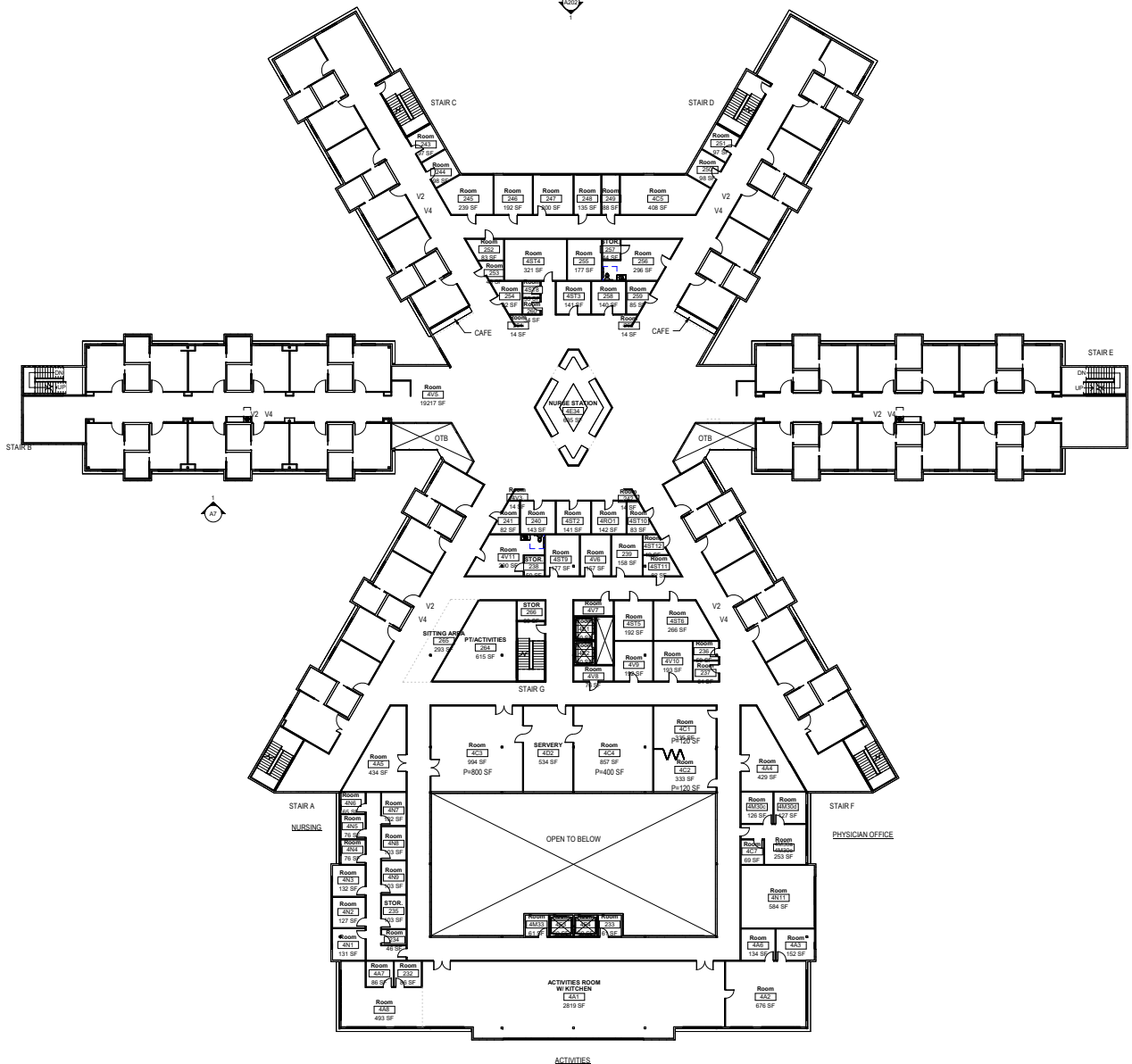
SHEET NUMBER: OF 1 ARCHITECTURAL
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SPACE CONTIGUOUS

BASEMENT	84,333 SQFT
FIRST FLOOR	83,333 SQFT
SECOND FLOOR	83,333 SQFT
THIRD FLOOR	83,333 SQFT
FOURTH FLOOR	83,333 SQFT
FIFTH FLOOR	83,333 SQFT
TOTAL	361,198 SQFT

FLOOR	SCALE
1	1/8" = 1'-0"
A1	

PROGRESS NOT FOR CONSTRUCTION



- GENERAL PLAN NOTES**
- 1 ARCHITECTURAL DATUM = 102'-0". THE ARCHITECTURAL DATUM IS INDEPENDENT OF ELEVATIONS SHOWN ON THE CIVIL DRAWINGS. SEE CIVIL DRAWINGS FOR CORRESPONDING DATUM HEIGHT ABOVE SEA LEVEL.
 - 2 ALL DIMENSIONS AT NEW WALLS ARE TO OUTSIDE FACE OF STUDY. FACE OF CONCRETE, FACE OF MASONRY, OR CENTER OF OPENING, UNL.D. AT EXISTING WALLS DIMENSIONS ARE TO INSIDE FACE OF WALL.
 - 3 DO NOT SCALE DRAWINGS. CONTACT ARCHITECT FOR ANY DISCREPANCY PRIOR TO COMMENCEMENT OF ANY WORK.
 - 4 REFER TO DIMENSION PLANS FOR GENERAL PARTITION TYPES & PARTITION TYPES.
 - 5 VERIFY FIELD CONDITIONS PRIOR TO COMMENCEMENT OF EACH PORTION OF THE WORK. NOTIFY ARCHITECT OF DISCREPANCIES.
 - 6 ALL LUMBER IN CONTACT WITH CONCRETE SHALL BE PRESURE TREATED INCLUDING ALL SILL PLATES FOR WOOD STUD WALLS.
 - 7 REVIEW PRIOR TO INSTALLATION ANY CONFLICT OF ENGINEERING TRADE DEVICES (I.E. FIRE ALARM STRIKES WITH ARCHITECTURAL DETAILS) AND BRING THOSE DISCREPANCIES TO THE ARCHITECT FOR REVIEW.
 - 8 PROVIDE BLOOMING FOR MILLWORK, MECHANICAL FIXTURES, PLUMBING FIXTURES AND OTHER ITEMS IDENTIFIED IN THE CONSTRUCTION DOCUMENTS.
 - 9 COORDINATE REIN. STEEL REQUIREMENTS FOR MOUNTING HANGING OWNER SUPPLIED EQUIPMENT.

OWNER
STRAFFORD COUNTY COMMISSIONERS
259 COUNTY FARM RD SUITE 204
DOVER, NH 03820
(603) 742-1458

CONSTRUCTION MANAGER
TBC

CONSULTANTS:

CIVIL
NAME
STREET
CITY, STATE, ZIP
TELEPHONE

LANDSCAPE
NAME
STREET
CITY, STATE, ZIP
TELEPHONE

STRUCTURAL
NAME
STREET
CITY, STATE, ZIP
TELEPHONE

PLUMBING / MECHANICAL
NAME
STREET
CITY, STATE, ZIP
TELEPHONE

ELECTRICAL
NAME
STREET
CITY, STATE, ZIP
TELEPHONE

OTHER
NAME
STREET
CITY, STATE, ZIP
TELEPHONE

TO BE EDITED

- FLOOR PLAN LEGEND**
- DOOR TAG, SEE DOOR SCHEDULE
 - WINDOW TAG, SEE WINDOW SCHEDULE
 - ACCESSORY TAG, SEE ACCESSORY TYPES & INTERIOR ELEVATIONS
 - KEYNOTE, SEE FLOOR PLAN KEYNOTE LEGEND
 - STRUCTURAL OUTLINE
 - NEW CONSTRUCTION
 - EXISTING CONSTRUCTION
 - NEW DOOR
 - EXISTING DOOR

FLOOR PLAN KEYNOTES

NOTE	DESCRIPTION
A	

TO BE EDITED

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Planning, Landscape, Architecture, Interiors

27 WARREN STREET
CONCORD, NEW HAMPSHIRE 03301
40 STARK STREET
MANCHESTER, NEW HAMPSHIRE 03103
P. (603) 225-0640
WWW.WARRENSTREET.COOP

PROJECT TITLE / ADDRESS:
STRAFFORD COUNTY NURSING HOME
285 COUNTY FARM CROSS RD
DOVER, NH 03820

PLAN KEY:

SCALE: AS NOTED
PROJECT # 3818
PRINT DATE: 10/2023 1:51:40 PM

ISSUE DATE:

ISSUE:
SCHEMATIC DESIGN

REVISION	DATE	COMMENTS

FOURTH FLOOR PLAN

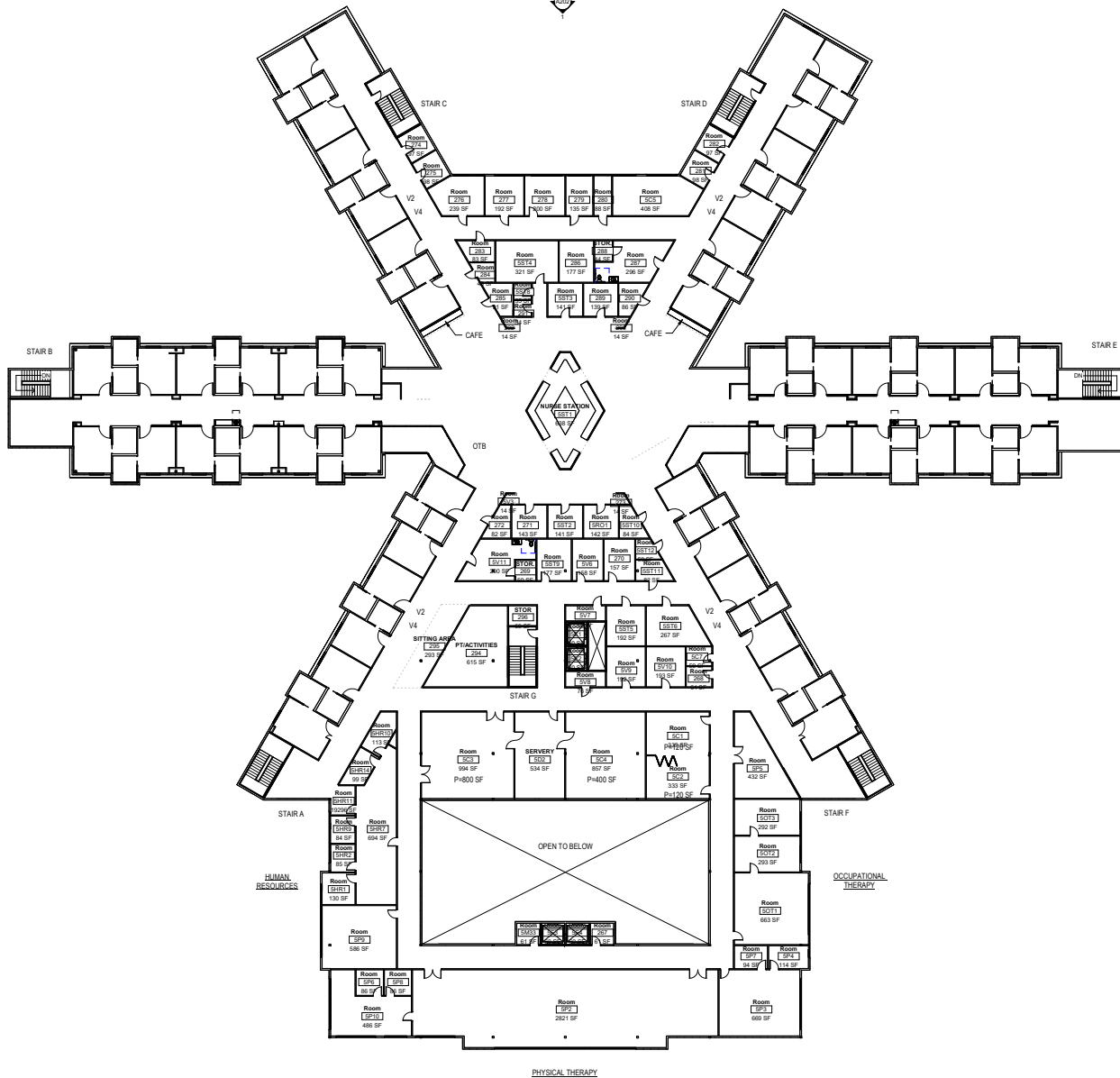
A114

SHEET NUMBER: OF 1 ARCHITECTURAL

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1 FLOOR 4
1/16" = 1'-0"

PROGRESS NOT FOR CONSTRUCTION



- GENERAL PLAN NOTES**
1. ARCHITECTURAL DATUM = 102'-0". THE ARCHITECTURAL DATUM IS INDEPENDENT OF ELEVATIONS SHOWN ON THE CIVIL DRAWINGS. SEE CIVIL DRAWINGS FOR CORRESPONDING DATUM HEIGHT ABOVE SEA LEVEL.
 2. ALL DIMENSIONS AT NEW WALLS ARE TO OUTSIDE FACE OF STUD. FACE OF CONCRETE, FACE OF MASONRY, OR CENTER OF OPENING UNL.D. AT EXISTING WALLS DIMENSIONS ARE TO INSIDE FACE OF WALL.
 3. COUNTY SCALE DRAWINGS: CONTACT ARCHITECT FOR ANY DISCREPANCY PRIOR TO COMMENCEMENT OF ANY WORK.
 4. REFER TO DIMENSION PLANS FOR GENERAL PARTITION TYPES AND PARTITION TYPES.
 5. VERIFY FIELD CONDITIONS PRIOR TO COMMENCEMENT OF EACH PORTION OF THE WORK. NOTIFY ARCHITECT OF DISCREPANCIES.
 6. ALL LUMBER IN CONTACT WITH CONCRETE SHALL BE PRESURE TREATED INCLUDING ALL SILL PLATES FOR WOOD STUD WALLS.
 7. REVIEW PRIOR TO INSTALLATION ANY CONFLICT OF ENGINEERING TRADE DEVICES (I.E. FIRE ALARM STRIKES WITH ARCHITECTURAL DETAILS) AND BRING THOSE DISCREPANCIES TO THE ARCHITECT FOR REVIEW.
 8. PROVIDE BLOTTING FOR MILLWORK, MECHANICAL FIXTURES, PLUMBING FIXTURES AND OTHER ITEMS IDENTIFIED IN THE CONSTRUCTION DOCUMENTS.
 9. COORDINATE REIN. STEEL REQUIREMENTS FOR MOUNTING HANGING OWNER SUPPLIED EQUIPMENT.

TO BE EDITED

- FLOOR PLAN LEGEND**
- DOOR TAG, SEE DOOR SCHEDULE
 - WINDOW TAG, SEE WINDOW SCHEDULE
 - ACCESSORY TAG, SEE ACCESSORY TYPES & INTERIOR ELEVATIONS
 - KEYNOTE, SEE FLOOR PLAN KEYNOTE LEGEND
 - STRUCTURAL OUTLINE
 - NEW CONSTRUCTION
 - EXISTING CONSTRUCTION
 - NEW DOOR
 - EXISTING DOOR
- FLOOR PLAN KEYNOTES**

TO BE EDITED

KEY	DESCRIPTION
A	

OWNER
STRAFFORD COUNTY COMMISSIONERS
259 COUNTY FARM RD SUITE 204
DOVER, NH 03820
(603) 742-1458

CONSTRUCTION MANAGER
TBC

CONSULTANTS:

CIVIL
NAME
STREET
CITY, STATE, ZIP
TELEPHONE

LANDSCAPE
NAME
STREET
CITY, STATE, ZIP
TELEPHONE

STRUCTURAL
NAME
STREET
CITY, STATE, ZIP
TELEPHONE

PLUMBING / MECHANICAL
NAME
STREET
CITY, STATE, ZIP
TELEPHONE

ELECTRICAL
NAME
STREET
CITY, STATE, ZIP
TELEPHONE

OTHER
NAME
STREET
CITY, STATE, ZIP
TELEPHONE

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Planning, Landscape, Architecture, Interiors

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CONCORD, NEW HAMPSHIRE 03301
40 STARKS STREET
MANCHESTER, NEW HAMPSHIRE 03103
P. (603) 225-0640
WWW.WARRENSTREET.COOP

PROJECT TITLE / ADDRESS:
STRAFFORD COUNTY
NURSING HOME
285 COUNTY FARM CROSS
RD
DOVER, NH 03820

SCALE: AS NOTED
DATE: 04/20/2011
PROJECT #: 3818
CHK BY: CHECKER
PRINT DATE: 04/20/2011 11:47 AM

ISSUE DATE:

ISSUE:
SCHEMATIC DESIGN

REVISION	DATE	COMMENTS

FIFTH FLOOR PLAN

A115

SHEET NUMBER OF 1 ARCHITECTURAL

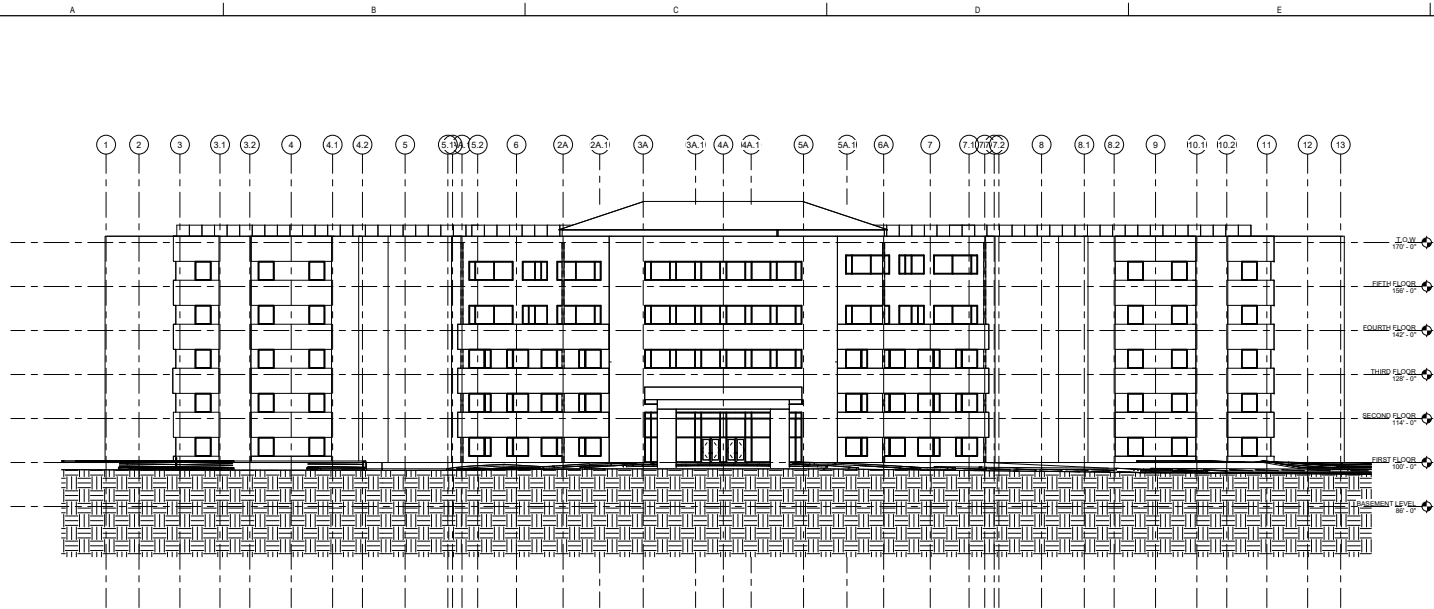
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PROGRESS NOT FOR CONSTRUCTION

ARCHITECT: WARRENSTREET ARCHITECTS, INC. 27 WARREN STREET, CONCORD, NH 03301
 PROJECT NO: 3818
 SHEET NO: A115
 DATE: 04/20/2011
 SCALE: 1/16" = 1'-0"
 DRAWN BY: J. BROWN
 CHECKED BY: J. BROWN
 APPROVED BY: J. BROWN

1 FLOOR 5
A7 1/16" = 1'-0"



1 SOUTH
A110
1/16" = 1'-0"



2 EAST
A110
1/16" = 1'-0"

GENERAL ELEVATION NOTES

1 REFER TO MICHIGNS FOR LOCATIONS OF LOWERS AND VENTS. CONFIRM FINAL POSITION WITH ARCHITECT PRIOR TO ORDERING.

ELEVATION LEGEND

- KEYNOTE: SEE ELEVATION KEYNOTE LEGEND
- WINDOW TAG: SEE DOOR SCHEDULE SHEET
- CJ CONTROL JOINT

ELEVATION KEYNOTES

CITY # DESCRIPTION

OWNER
STAFFORD COUNTY COMMISSIONERS
255 COUNTY FARM RD SUITE 204
DOVER, NH 03820
(603) 742-1458

CONSTRUCTION MANAGER
TBC

CONSULTANTS:

CIVIL
NAME
STREET
CITY, STATE, ZIP
TELEPHONE

LANDSCAPE
NAME
STREET
CITY, STATE, ZIP
TELEPHONE

STRUCTURAL
NAME
STREET
CITY, STATE, ZIP
TELEPHONE

PLUMBING / MECHANICAL
NAME
STREET
CITY, STATE, ZIP
TELEPHONE

ELECTRICAL
NAME
STREET
CITY, STATE, ZIP
TELEPHONE

OTHER
NAME
STREET
CITY, STATE, ZIP
TELEPHONE

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CONCORD, NEW HAMPSHIRE 03301
40 STARK STREET
MANCHESTER, NEW HAMPSHIRE 03103
P. (603) 225-0640
WWW.WARRENSTREET.COOP

PROJECT TITLE / ADDRESS:
STAFFORD COUNTY NURSING HOME
285 COUNTY FARM CROSS
DOVER, NH 03820

PLAN KEY:

SCALE: AS NOTED DRAWN BY: AUTHOR
PROJECT #: 3018 CHK. BY: CHECKER

PRINT DATE: 10/4/2023 1:57:50 PM

ISSUE DATE:
ISSUE:
SCHEMATIC DESIGN

REVISION	DATE	COMMENTS

EXTERIOR ELEVATIONS

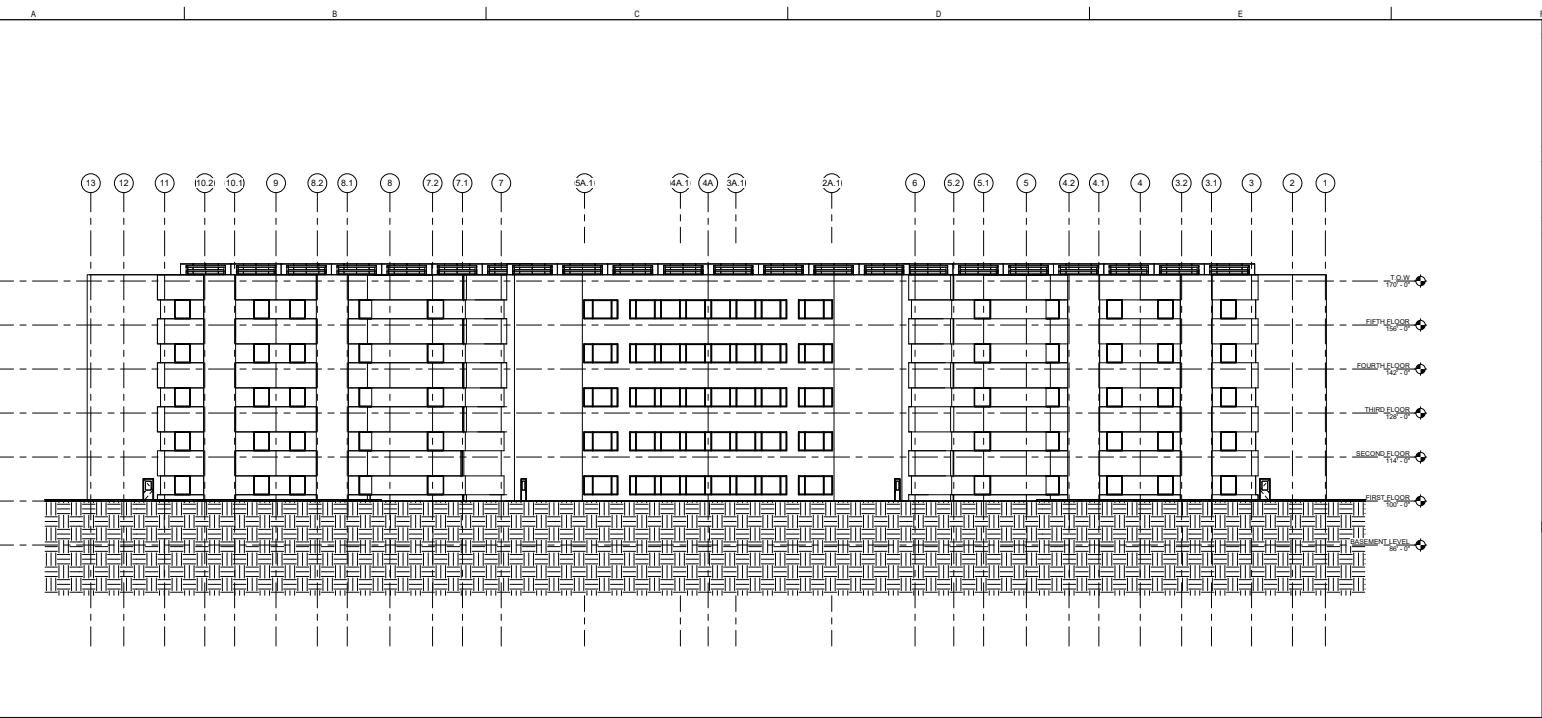
A201

SHEET NUMBER OF 1 ARCHITECTURAL
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PROGRESS NOT FOR CONSTRUCTION

TO BE EDITED

ARCHITECT: WARRENSTREET ARCHITECTURE
 PROJECT: STAFFORD COUNTY NURSING HOME
 SHEET: A201
 DATE: 10/1/2023
 SCALE: 1/16" = 1'-0"
 DRAWN BY: [REDACTED]
 CHECKED BY: [REDACTED]



1 NORTH
A112 1/8" = 1'-0"



2 WEST
A112 1/8" = 1'-0"

GENERAL ELEVATION NOTES

1 REFER TO MEASUREMENTS FOR LOCATIONS OF LOUVERS AND VENTS. CONFIRM FINAL POSITION WITH ARCHITECT PRIOR TO ORDERING.

ELEVATION LEGEND

KEYNOTE: SEE ELEVATION KEYNOTE LEGEND
 WINDOW TAG: SEE DOOR SCHEDULE SHEET
 CJ CONTROL JOINT

ELEVATION KEYNOTES

KEY #	DESCRIPTION

OWNER
 STRAFFORD COUNTY COMMISSIONERS
 259 COUNTY FARM RD SUITE 204
 DOVER, NH 03820
 (603) 742-1458

CONSTRUCTION MANAGER
 TBD

CONSULTANTS:

CIVIL
 NAME
 STREET
 CITY, STATE, ZIP
 TELEPHONE

LANDSCAPE
 NAME
 STREET
 CITY, STATE, ZIP
 TELEPHONE

STRUCTURAL
 NAME
 STREET
 CITY, STATE, ZIP
 TELEPHONE

PLUMBING / MECHANICAL
 NAME
 STREET
 CITY, STATE, ZIP
 TELEPHONE

ELECTRICAL
 NAME
 STREET
 CITY, STATE, ZIP
 TELEPHONE

OTHER
 NAME
 STREET
 CITY, STATE, ZIP
 TELEPHONE

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 40 STARK STREET
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 WWW.WARRENSTREET.COOP

PROJECT TITLE / ADDRESS:
 STRAFFORD COUNTY
 NURSING HOME
 285 COUNTY FARM CROSS
 RD
 DOVER, NH 03820

SCALE: AS NOTED **DRAWN BY:** AUTHOR
PROJECT #: 3818 **CHK. BY:** CHECKER

PRINT DATE: 10/4/2023 1:57:54 PM

ISSUE DATE:
ISSUE:
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REVISION	DATE	COMMENTS

EXTERIOR ELEVATIONS

A202

SHEET NUMBER OF 1 ARCHITECTURAL

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TO BE EDITED

ARCHITECT: WARRENSTREET ARCHITECTURE
 PROJECT: STRAFFORD COUNTY NURSING HOME
 SHEET: A202
 DATE: 10/11/2023
 SCALE: 1/8" = 1'-0"
 DRAWN BY: J. WOOD
 CHECKED BY: J. WOOD
 PROJECT NO.: 3818
 SHEET NO.: 1 OF 1



MILLER ENGINEERING & TESTING INC.

GEOTECHNICAL / SOIL BORINGS / ENVIRONMENTAL / SOILS / CONCRETE / MASONRY / STEEL / ROOFING / ASPHALT INSPECTION

Mail all correspondence to: 100 SHEFFIELD ROAD · PO BOX 4776 · MANCHESTER, NH 03108-4776 · TELEPHONE (603)668-6016 · Fax (603)668-8641

October 4, 2023

Mr. Jonathan Halle, AIA
Warrenstreet Architects
4 Crescent Street, Unit 2
Concord, New Hampshire 03303

RE: Geotechnical Engineering Letter
Proposed Strafford County Nursing Home
County Farm Road
Dover, New Hampshire

Project 23.108.NH

Dear Mr. Halle:

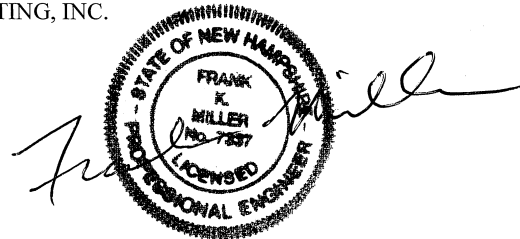
We have completed our geotechnical engineering investigation for the Strafford County Nursing Home project planned for the "Erik Drive Site" off County Farm Road in Dover, NH. The details of our subsurface observations, geotechnical evaluations, and building foundation and pavement design recommendations are provided in our report titled "Geotechnical Engineering Report Strafford County Nursing Home County Farm Road, Dover, New Hampshire", dated October 3, 2023.

In summary, our test borings indicate naturally occurring subsurface soil conditions are present from the ground surface at all locations explored in the project area. The subgrade bearing layers for the building foundation and pavements consist of hard clay, dense glacial till soils, and bedrock. In our opinion, these subsurface layers are suitable for supporting conventional reinforced concrete spread footing foundations and concrete floor slabs for the building; and should provide a suitable subgrade for driveways and surface parking areas. The geotechnical report should be reviewed for our complete geotechnical analysis, evaluation, and recommendations.

We hope this letter and our geotechnical report are helpful to you and the project team. Please contact me if you have any questions.

Sincerely,
MILLER ENGINEERING & TESTING, INC.

Frank K. Miller, P.E.
Vice President



Please mail the completed form and required material to:

New Hampshire Division of Historical Resources
State Historic Preservation Office
Attention: Review & Compliance
19 Pillsbury Street, Concord, NH 03301-3570

RECEIVED SEP 11 2023

DHR Use Only
R&C # 14572M
Log In Date 9/11/23
Response Date ___/___/___
Sent Date ___/___/___

Request for Project Review by the New Hampshire Division of Historical Resources

- This is a new submittal
 This is additional information relating to DHR Review & Compliance (R&C) #: 14572

GENERAL PROJECT INFORMATION
Project Title Strafford County Nursing Home
Project Location County Farm Road
City/Town Dover Tax Map B1 Lot # B0020-000000
NH State Plane - Feet Geographic Coordinates: Easting 1180471 Northing 263053 (See RPR Instructions and R&C FAQs for guidance.)
Lead Federal Agency and Contact (if applicable) NA (Agency providing funds, licenses, or permits) Permit Type and Permit or Job Reference #
State Agency and Contact (if applicable) Permit Type and Permit or Job Reference #
APPLICANT INFORMATION
Applicant Name Raymond Bower, Strafford County Administrator
Mailing Address 259 County Farm Rd., Suite 204 Phone Number 603-516-4100
City Dover State NH Zip 03820 Email rbower@co.strafford.nh.us
CONTACT PERSON TO RECEIVE RESPONSE
Name/Company Jonathan Halle/Warrenstreet Architects
Mailing Address 4 Crescent St., Unit 2 Phone Number 225-0640
City Concord State NH Zip 03303 Email jh@warrenstreet.coop

*This form is updated periodically. Please download the current form at www.nh.gov/nhdhr/review. Please refer to the Request for Project Review Instructions for direction on completing this form. Submit one copy of this project review form for each project for which review is requested. **Please include a self-addressed stamped envelope.** Project submissions will not be accepted via facsimile or e-mail. This form is required. Review request form must be complete for review to begin. Incomplete forms will be sent back to the applicant without comment. Please be aware that this form may only initiate consultation. For some projects, additional information will be needed to complete the Section 106 review. All items and supporting documentation submitted with a review request, including photographs and publications, will be retained by the DHR as part of its review records. Items to be kept confidential should be clearly identified. For questions regarding the DHR review process and the DHR's role in it, please visit our website at: www.nh.gov/nhdhr/review or contact the R&C Specialist at marika.s.labash@dncr.nh.gov or 603.271.3558.*

PROJECTS CANNOT BE PROCESSED WITHOUT THIS INFORMATION

Project Boundaries and Description

- Attach the Project Mapping *using EMMIT or relevant portion of a 7.5' USGS Map.* (See RPR Instructions and R&C FAQs for guidance.)
- Attach a detailed narrative description of the proposed project.
- Attach a site plan. The site plan should include the project boundaries and areas of proposed excavation.
- Attach photos of the project area (overview of project location and area adjacent to project location, and specific areas of proposed impacts and disturbances.) (Informative photo captions are requested.)
- A DHR records search must be conducted to identify properties within or adjacent to the project area. Provide records search results via EMMIT or in Table 1. (Blank table forms are available on the DHR website.) Please note, using EMMIT Guest View for an RPR records search does not provide the necessary information needed for DHR review. EMMIT or in-house records search conducted on 01/06/2023.

Architecture

Are there any buildings, structures (bridges, walls, culverts, etc.) objects, districts or landscapes within the project area? Yes No
If no, skip to Archaeology section. If yes, submit all of the following information:

Approximate age(s): see text

- Photographs of *each* resource or streetscape located within the project area, with captions, along with a mapped photo key. (Digital photographs are accepted. All photographs must be clear, crisp and focused.)
- If the project involves rehabilitation, demolition, additions, or alterations to existing buildings or structures, provide additional photographs showing detailed project work locations. (i.e. Detail photo of windows if window replacement is proposed.)

Archaeology

Does the proposed undertaking involve ground-disturbing activity? Yes No
If yes, submit all of the following information:

- Description of current and previous land use and disturbances.
- Available information concerning known or suspected archaeological resources within the project area (such as cellar holes, wells, foundations, dams, etc.)

Please note that for many projects an architectural and/or archaeological survey or other additional information may be needed to complete the Section 106 process.

DHR Comment/Finding Recommendation This Space for Division of Historical Resources Use Only

Insufficient information to initiate review. Additional information is needed in order to complete review.

No Potential to cause Effects No Historic Properties Affected No Adverse Effect Adverse Effect

Comments: Project area is considered archaeologically sensitive. Survey necessary before informed comment can be made.

If plans change or resources are discovered in the course of this project, you must contact the Division of Historical Resources as required by federal law and regulation.

Authorized Signature: Madi Miller, DSHR Date: 9/25/23



nobis

September 15, 2023

File No. 100475.000

STRAFFORD COUNTY NURSING HOME - CIVIL SCHEMATIC DESIGN NARRATIVE

The proposed project is a new 5-story (60,250+/- SF footprint) County nursing home, located approximately ½ mile east of the existing Riverside Rest Home on County Farm Road in Dover.

The area proposed for development (site) is 19-1/2 acres of open field on the eastern portion of a 35-acre parcel owned by Strafford County. The site is approximately rectangular-shaped, flanked by Jackson Brook to the west and residential development to the north and east. County Farm Road is the southern boundary of the parcel. Currently the vegetative cover on the site is mainly grass with trees along the north and east property lines, and brush along Jackson Brook. The fields are leased and are mowed on an annual basis currently.

Access/Circulation and Parking

The project involves construction of a single access/egress drive from County Farm Road, located east of the Pope Memorial Humane Society of Cocheco Valley, approximately 1,060 feet west of Erik Drive. This access drive will terminate at a circular drop-off at the main entrance to the building. Parking areas are proposed around the perimeter of the building, located off a two-way drive. The primary parking area is located southwest of the building (front) and there are parking spaces around the building with direct access from the drive.

All parking and access driveways will be paved. Vertical granite curbing is proposed throughout the development at parking and drives. Vertical concrete curbing is proposed where concrete sidewalks abut parking and driveways.

Grading

The topography of the site rises from the entrance at County Farm Road, climbing approximately 24 feet from south to north. Preliminary grading of the access drive indicates the first 450 feet (to the beginning of the parking areas) will need to rise at approximately 6%, after crossing the



wetland. The remainder of the driveway will have fairly level consistent slopes (1%-3%) to facilitate access to multiple points around the building.

Utilities

Power: There are existing utility poles along County Farm Road south of the building. It is anticipated that power to the facility will be via underground conduit from a new pole to be set along County Farm Road. Emergency generators are planned as a backup power source. Natural gas is available.

Storm Water: As noted earlier, the current site is undeveloped with a grass surface that is regularly mowed. We are not aware of any closed drainage systems along County Farm Road; storm water runoff tends to flow overland to low-lying areas on the south, west and east sides of the site, ultimately entering Jackson Brook.

The new development will require collection and treatment of storm water runoff designed in accordance with City and state requirements. Based on an initial review of on-site soils according to the Natural Resources Conservation Service Web Soil Survey, on-site soils consist of Scantic and Suffield silt loam, which are considered hydrologic soil group C (low potential for infiltration). Results of borings and test pits performed on the site indicate fairly shallow depths to groundwater. Closed drainage systems will be designed for collection of stormwater runoff from the building roof and impervious surfaces. It is anticipated that subsurface soils and depth to ground water will preclude infiltration as a means of control and treatment of stormwater. Therefore, designed systems may include subsurface detention chambers, surface detention systems, and surficial and/or proprietary engineered methods of stormwater treatment.

Telecommunications: Telecommunication conduit may be co-located in the ductbank that carries the new power lines.

Water: A municipal water line is located in County Farm Road. There is a hydrant located approximately 350 feet east of the proposed access drive. Details of the existing system have been requested from the City but not yet received.



Wastewater: A municipal sewer system is located on the north side of County Farm Road. There is a City pump station located on the west side of Jackson Brook. Details of the existing system have been requested from the City but not yet received.

Permitting

Under NH RSA Section 674:54, governmental land use is not subject to formal approval by the City of Dover Planning or Zoning Board. The County shall give written notification to the City of Dover Planning Department. Written notification shall contain plans, specifications, explanations of proposed changes, a statement of the governmental nature of the use, and a proposed construction schedule. Such notification shall be provided at least 60 days prior to the beginning of construction. The City of Dover may conduct a public hearing relative to the proposed governmental use. Any such hearing shall be held within 30 days after receipt of notice. A representative of the County shall be available to present the plans, specifications, and construction schedule, and to provide explanations. The planning board may issue nonbinding written comments relative to conformity or nonconformity of the proposal with normally applicable land use regulations to the County within 30 days after the hearing.

Application will be made to the NHDES Alteration of Terrain Bureau for the project, which exceeds 100,000 square feet of overall land disturbance. This application includes review of the NH Heritage Bureau (NHB) database for the presence of rare and/or endangered species within the project area. During the September 8, 2022 review, NHB identified two threatened species within the vicinity of the project: the Eastern Meadowlark and the Spotted Turtle. Further coordination with NH Fish and Game has been initiated and will continue throughout the design process. Specific measures will be incorporated as recommended by NH Fish and Game to minimize impacts to threatened species and their habitats. The Alteration of Terrain permit includes submission of a wildlife impact assessment and a site-specific soil map for all areas proposed to be disturbed as part of the project. The City of Dover is part of the Coastal and Great Bay Region and the project is located within ¼ mile of the Cocheco River, which is considered a Designated River by the NHDES. Coordination with the Cocheco River Local Advisory Committee will be required. According to FEMA Flood Map Panel 33017C0310E effective 9/30/2015, the western portion of the site (along Jackson Brook) is in an area of Special Flood



Hazard Zone “A”, with Base Flood Elevations not determined. The approximate extents of this area are shown on the Existing Conditions survey plan.

This project will be covered under the Federal EPA Construction General Permit (CGP) since construction activities will disturb more than one acre of land. In order to be covered under the CGP, a Stormwater Pollution Prevention Plan (SWPPP) will need to be prepared and a Notice of Intent will need to be filed with EPA. As part of this permit application, the project will be reviewed by the NH Department of Historical Resources (NHDHR) to determine if there will be any potential impacts to historic properties or features.

County Farm Road is a municipally-maintained two-lane road with a posted speed of 35 mph. Permitting for the new access drive will occur at the local level – an NHDOT driveway permit will not be required.

There are wetland areas on eastern, southern and western portions of the site. The City requires a 50-foot building setback from wetlands. Jackson Brook is not subject to NHDES Shoreland Rules as it is not considered a fourth order stream. According to NHDES OneStop, Jackson Brook has impairments for Ecoli. The new access drive will cross the wetland in the front (south) of the property. The crossing will require an oversized embedded RCP culvert for compliance with threatened species protection recommendations made by NH Fish and Game. The anticipated impact to the wetlands at the driveway entrance is 4,150 square feet, which will require a Dredge & Fill Permit from the NHDES Wetlands Bureau.

A Sewer Connection Permit will be required from NHDES for the extension of sewer service to the new facility.

National Flood Hazard Layer FIRMette



70°56'9"W 43°13'22"N



1:6,000

70°55'31"W 43°12'56"N

Basemap Imagery Source: USGS National Map 2023

Legend

SEE FIS REPORT FOR DETAILED LEGEND AND INDEX MAP FOR FIRM PANEL LAYOUT

SPECIAL FLOOD HAZARD AREAS		Without Base Flood Elevation (BFE) Zone A, V, A99
		With BFE or Depth Zone AE, AO, AH, VE, AR
		Regulatory Floodway

OTHER AREAS OF FLOOD HAZARD		0.2% Annual Chance Flood Hazard, Areas of 1% annual chance flood with average depth less than one foot or with drainage areas of less than one square mile Zone X
		Future Conditions 1% Annual Chance Flood Hazard Zone X
		Area with Reduced Flood Risk due to Levee. See Notes. Zone X
		Area with Flood Risk due to Levee Zone D

OTHER AREAS		NO SCREEN Area of Minimal Flood Hazard Zone X
		Effective LOMRs
		Area of Undetermined Flood Hazard Zone D

GENERAL STRUCTURES		Channel, Culvert, or Storm Sewer
		Levee, Dike, or Floodwall

OTHER FEATURES		20.2 Cross Sections with 1% Annual Chance Water Surface Elevation
		17.5 Coastal Transect
		Base Flood Elevation Line (BFE)
		Limit of Study
		Jurisdiction Boundary
		Coastal Transect Baseline
		Profile Baseline
		Hydrographic Feature

MAP PANELS		Digital Data Available
		No Digital Data Available
		Unmapped

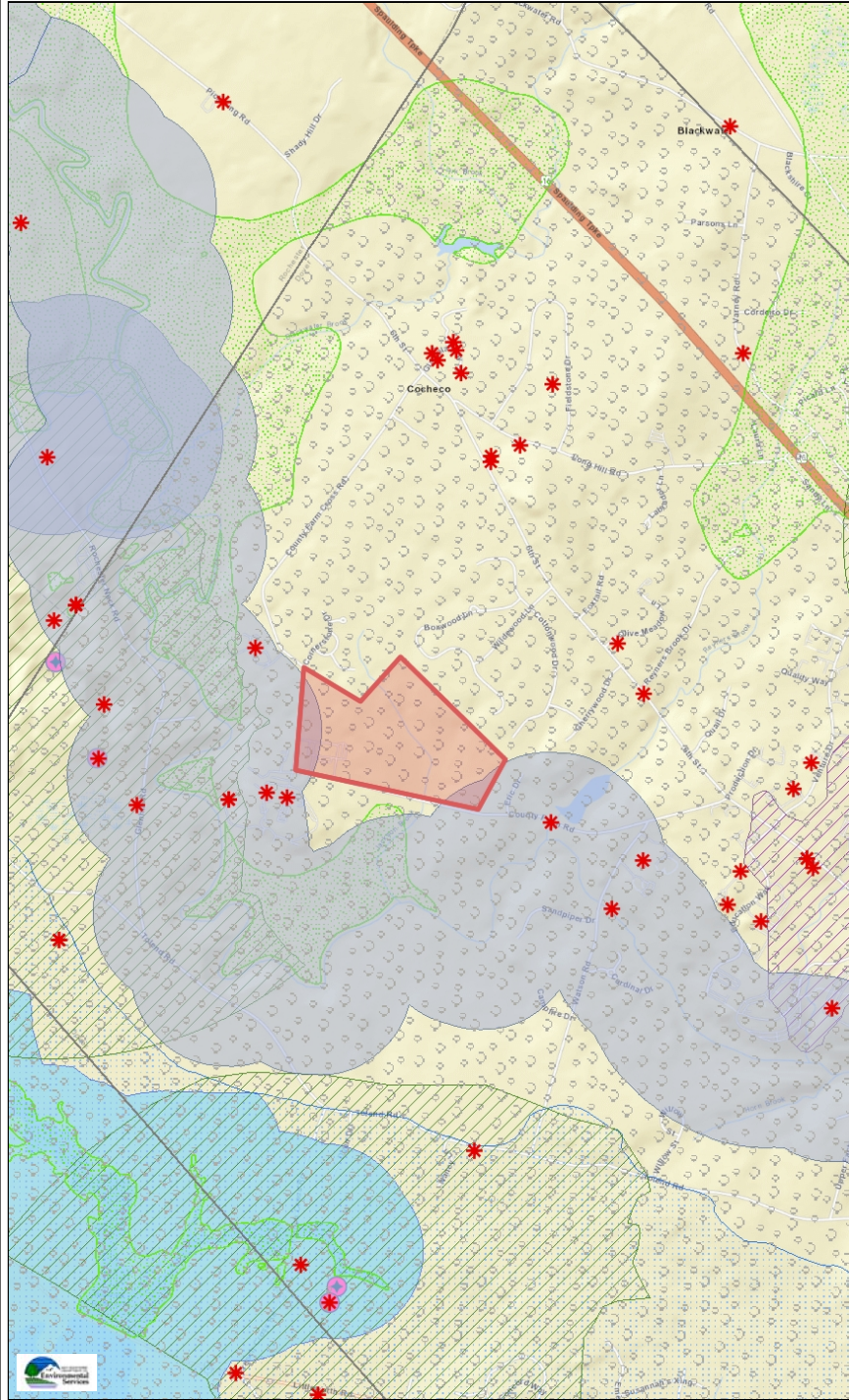
The pin displayed on the map is an approximate point selected by the user and does not represent an authoritative property location.

This map complies with FEMA's standards for the use of digital flood maps if it is not void as described below. The basemap shown complies with FEMA's basemap accuracy standards

The flood hazard information is derived directly from the authoritative NFHL web services provided by FEMA. This map was exported on 9/12/2023 at 1:51 PM and does not reflect changes or amendments subsequent to this date and time. The NFHL and effective information may change or become superseded by new data over time.

This map image is void if the one or more of the following map elements do not appear: basemap imagery, flood zone labels, legend, scale bar, map creation date, community identifiers, FIRM panel number, and FIRM effective date. Map images for unmapped and unmodernized areas cannot be used for regulatory purposes.

Strafford County - AoT Screening Layers



Legend

- * Remediation Sites
- Coastal and Great Bay Regi Communities
- Designated Rivers Quarter Buffer
- Public Water Supply Wells
- Groundwater Classification / GA1
- Groundwater Classification / GA2
- Water Supply Intake Protect Areas
- Wellhead Protection Areas
- Class A Lakes with a Quarte Buffer
- Class A - All Features
- All Lakes, with a Quarter Mil Buffer
- Outstanding Resource Water Watersheds
- Watersheds with Chloride Impairments

Map Scale

1: 25,977



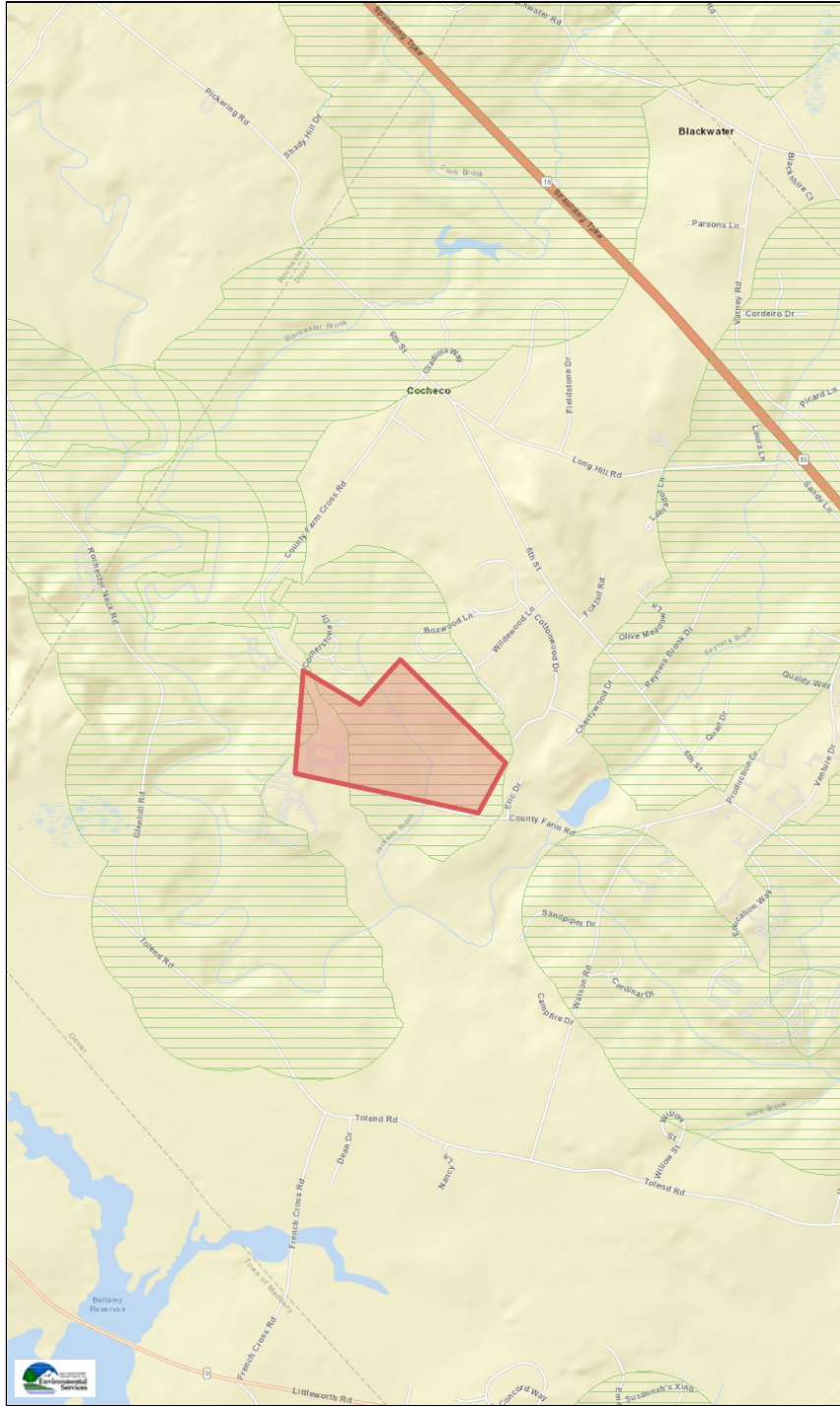
© NH DES, <http://des.nh.gov>

Map Generated: 9/8/2023


Notes



Strafford County - Surface Water Impairments



Legend

-  Surface Waters with Impairment with Quarter Mile Buffer

Map Scale

1: 25,977

© NH DES, <http://des.nh.gov>

Map Generated: 9/8/2023



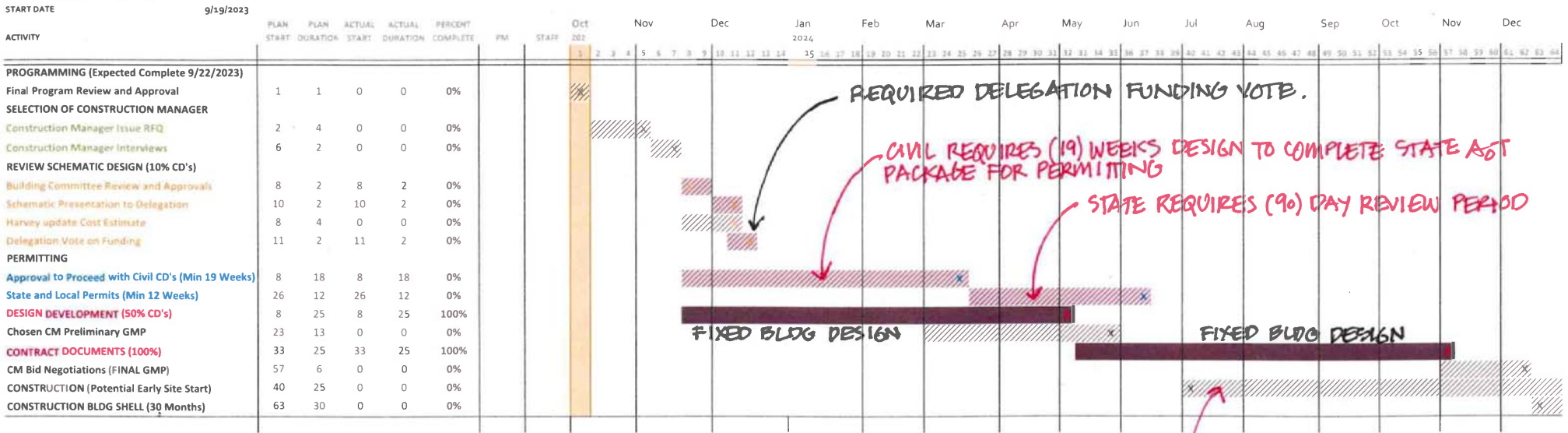
Notes



Stafford County Nursing Home Design, Permitting and Funding Timeline

WARRENSTREET PROJECT DELIVERY WORK FLOW CHART

DURATION OF TASKS



REQUIRED DELEGATION FUNDING VOTE.

CIVIL REQUIRES (19) WEEKS DESIGN TO COMPLETE STATE AGT PACKAGE FOR PERMITTING

STATE REQUIRES (90) DAY REVIEW PERIOD

FIXED BLDG DESIGN

FIXED BLDG DESIGN

POTENTIAL EARLY CONST. START COULD SAVE SIGNIFICANT WINTER CONDITION COSTS.