

PROPOSED CONCEPTUAL DESIGN  
**STRAFFORD COUNTY NURSING HOME, DOVER, NEW HAMPSHIRE**  
JULY 19, 2023



In the fall of 2022, Warrenstreet completed a Conceptual Design for a New Nursing Home on the Site known as the “Hyder Field Site”. As part of the early due-diligence, we completed an archaeology study, historic review, and geotechnical test pits and found the site suitable for construction. In the fall of 2022, we completed a field survey of the property inclusive of wetland mapping. Although, to the laypersons eye, the land appears to be agricultural fields, they were determined to have scattered wetland throughout the proposed building site. The wetland impact was determined to be greater than (3) acres which would require a major permit with US Army Corps review, which would take a minimum of two years only after all the civil engineering had been completed. Onsite mitigation was deemed unreasonable and the financial penalty calculated at greater than \$600,000 to be paid to the State Wetland Mitigation Fund. A conscious decision was made to explore other opportunity sites within the County Farm Property.

In the spring of 2023, the Commissioners approved surveying the entire county farm, which was completed mid june. The Eric Drive Site was determined the best suitable site, with wetlands around the perimeter of the buildable location rather than scattered throughout. This site allows for a buildable site, although smaller in size, it was discussed exploring a building scheme more vertical in height, scaling the project from two stories to five stories. the overall wetland impact per the conceptual package within is in fact under 800 sf. Both parcels are comparable in size, with the Eric Drive site being of greater elevation and with an expected better soils composition for building.

All of the County Farm property is burdened with both “Conservation Easements” and “Special Easements” placed over the entire farm property in the early 1980’s. The Eric Drive Site is the better of the two situations, having a Special Easement which the County is allowed to remove for the expansion of county business. The proposed structure is set far back from property lines, and all of the abutting tree cover is proposed to remain providing a great buffer for adjoining properties. The flat roof of the building provides the opportunity to construct a local solar array to differ operating costs for the new building.

The cost of site development, utilities, and roadways is comparable. The cost of vertical construction however can be less expensive than the same square footage having a larger footprint. The proposed building has an approximate 57,000 sf footprint, is proposed to be five stories, with a basement level that houses the Kitchen, Housekeeping, Facilities and Mechanicals systems.

As a County Facility, the proposed project is exempt from local Dover zoning and planning requirements. The construction would be overseen by the State Fire Marshals Office.

For Registry of Deeds Use

GLOBAL POSITIONING SYSTEM NOTE:

GPS INFORMATION SHOWN IS BASED UPON OBSERVATIONS MADE BY THIS OFFICE USING A TRIMBLE 4800 GPS RECEIVER. BASE POINT LATITUDE, LONGITUDE AND ELEVATION HAVE BEEN DERIVED FROM A HIGH QUALITY SOLUTION REPORT. (WWW.NGS.NOAA.GOV/TOOLS/) STATE PLANE COORDINATES SHOWN HAVE BEEN DERIVED FROM SOFTWARE, VER. 1.0.0.0.

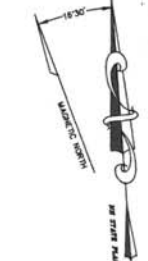
DATE OF OBSERVATION: SEPTEMBER 26, 2002  
 DATE OF SOLUTION REPORT: SEPTEMBER 27, 2002  
 BASE POINT DESCRIPTION: OAK HUB WITH TACK  
 REFERENCE FRAME: NAD83 (CORNER) (EPOCH: 2002.0000)  
 LATITUDE: N 43° 13' 15.4300"  
 LONGITUDE: W 070° 56' 31.21330"  
 DATUM: GEOID99 NAVD83  
 ELEVATION: 155.62  
 STATE PLANE COORDINATES:  
 ZONE: NEW HAMPSHIRE  
 NORTHING: 2800 (HNT)  
 EASTING: 263,988.31409  
 1,178,151.74378

NOTES:

- OWNER OF RECORD: STRAFFORD COUNTY  
COUNTY FARM ROAD  
DOVER, NEW HAMPSHIRE 03820  
S.C.R.D. VOL. 238, PAGE 337  
S.C.R.D. VOL. 241, PAGE 521  
S.C.R.D. VOL. 255, PAGE 274
- 8/20 - DENOTES TAX MAP / LOT NO.
- THE INTENT OF THIS PLAN IS TO DELINEATE THE AREAS OF THE COUNTY LANDS WHICH ARE TO BE PLACED UNDER A CONSERVATION NEW HAMPSHIRE FORESTS. REFERENCE IS MADE TO THE EASEMENT DOCUMENTS FOR MORE PARTICULAR RESTRICTIONS OF THE VARIOUS TRACTS SHOWN.
- PORTIONS OF THE COUNTY LANDS MAY BE SUBJECT TO LEASES OR RESTRICTIONS THAT WERE NOT RESEARCHED AS PART OF THIS PLAN.
- THE COUNTY LANDS ARE SUBJECT TO THE FOLLOWING:
  - THAT PORTION OF THE PROPERTY ABUTTING THE COCHECO RIVER IS SUBJECT TO THE DAM PRIVILEGE AND FLOWAGE RIGHTS OF THE CITY OF DOVER KNOWN AS THE "MUSSEY MILL PRIVILEGE". SEE SORD BOOK 911, PAGE 112.
  - THAT PORTION OF THE PROPERTY ABUTTING THE COCHECO RIVER MAY BE SUBJECT TO AND AFFECTED BY THE DAM PRIVILEGE AND FLOWAGE RIGHTS OF THE WATSON HYDROELECTRIC ASSOCIATES AT THE WATSON/MALDEN DAM. (SEE SORD BOOK 1153, PAGE 440. OTHERS AS DESCRIBED IN SORD BOOK 238, PAGE 337, TRACT 3.
  - THE PROPERTY IS SUBJECT TO A PASSENGER IN COMMON WITH DOVER, NEW HAMPSHIRE.
  - THERE IS EXCEPTED FROM THE PROPERTY TWO BURIAL PLACES DESCRIBED IN SORD BOOK 241, PAGE 521. THESE BURIAL SITES WERE NOT FOUND DURING THIS SURVEY. THEIR LOCATION IS UNDETERMINED.
  - THE PROPERTY IS SUBJECT TO AN EASEMENT TO PUBLIC SERVICE COMPANY OF NEW HAMPSHIRE AND NEW ENGLAND TELEPHONE & TELEGRAPH COMPANY PER SORD BOOK 804, PAGE 70.
  - THE PROPERTY IS SUBJECT TO AN EASEMENT TO NEW ENGLAND TELEPHONE & TELEGRAPH COMPANY AND PUBLIC SERVICE COMPANY OF NEW HAMPSHIRE FOR A 20' WIDE UNDERGROUND UTILITY EASEMENT PER SORD BOOK 1001, PAGE 514.
- NO LAYOUT WAS FOUND FOR COUNTY FARM ROAD OR COUNTY FARM CROSS ROAD. THE RIGHTS OF WAY LINES WERE ASSUMED TO BE 3' PHYSICAL FEATURES, AND CALCULATED USING EXISTING MONUMENTATION, PHYSICAL FEATURES, AND ROAD CONSTRUCTION.

**AREA TABLE**

<b>CONSERVATION EASEMENT</b>			
#1	233,141 S.F.	/	5.35 Ac.
#2	1,158,611 S.F.	/	26.60 Ac.
#3	4,334,460 S.F.±	/	99.5 Ac.±
#4	690,923 S.F.	/	15.86 Ac.
<b>SUBTOTAL</b>			
	6,417,135 S.F.±	/	147.32 Ac.±
<b>SPECIAL PROVISION</b>			
#1	499,632 S.F.	/	11.47 Ac.
#2	345,206 S.F.	/	7.92 Ac.
#3	524,835 S.F.	/	12.05 Ac.
#4	168,145 S.F.	/	3.86 Ac.
#5	850,647 S.F.	/	19.53 Ac.
#6	452,253 S.F.	/	10.38 Ac.
<b>SUBTOTAL</b>			
	2,840,718 S.F.	/	65.21 Ac.
<b>TOTAL AREA SUBJECT TO CONSERVATION EASEMENT</b>			
	9,257,853 S.F.	/	212.53 Ac.
<b>NON-EASEMENT</b>			
#1	404,723 S.F.	/	9.29 Ac.
#2	1,270,343 S.F.	/	29.18 Ac.
#3	1,293,872 S.F.	/	29.70 Ac.
<b>SUBTOTAL</b>			
	2,968,938 S.F.	/	68.16 Ac.
<b>TOTAL LAND AREA</b>			
	12,226,791 S.F.±	/	280.69 Ac.±



REFERENCE PLANS:

- LAND OF COCHECO MFG. CO. IN DOVER, SCALE: 1" = 40'. DATED: 1871. RECORDED S.C.R.D. PLAN 7, FOLDER 8.
- LAND IN DOVER, N.H. - ROBERT H. WENTWORTH ET AL, TRUSTEES OF THE PROPERTY OF THE BOSTON & MAINE CORPORATION TO HOLD A GREGORY KONTRELAKOS, SCALE: 1" = 100'. DATED: DEC. 1874. B.M. CORP. PLAN R4-2-1. RECORDED S.C.R.D. PLAN 15, FOLDER 15, FOLDER 1.
- SUBDIVISION OF LAND FOR CHESTER & VOLA BOSTWICK, DOVER, N.H. SCALE: 1" = 100'. DATED: SEPT. 3, 1886. BY: WALKER & O'NEIL SURVEY ASSOCIATES. RECORDED S.C.R.D. PLAN 30-81.
- SUBDIVISION OF LAND FOR VOLA & CHESTER BOSTWICK IN DOVER, N.H. SCALE: 1" = 50'. DATED: FEBRUARY 18, 1880. REV. TO 4-4-1880. BY: BRUCE L. POPOPOK. RECORDED S.C.R.D. PLAN 200-71.
- FIELDS CROSSING - 8TH STREET ASSOCIATES, INC. COUNTY FARM CROSS ROAD, DOVER, NEW HAMPSHIRE. DATED: JUNE 24, 1988. REV. TO 12-21-1988. BY: THOMAS F. MORAN, INC. RECORDED S.C.R.D. PLANS 37-90, 37-86, 37-128, 37-130, 37-131.
- SUBDIVISION OF LAND PREPARED FOR DAVID & JOHN WILES, COUNTY FARM ROAD, DOVER, NEW HAMPSHIRE. SCALE: 1" = 100'. DATED: FEBRUARY 12, 1986. BY: THIS OFFICE. RECORDED S.C.R.D. PLAN 47-53.
- PLAN OF SUBDIVISION - DAVID & JOHN WILES, JOHN S. WILES, COUNTY FARM ROAD, DOVER, NEW HAMPSHIRE. SCALE: 1" = 100'. DATED: NOV. 1988. REV. TO JAN. 1989. BY: R.E. MOORE & B.G. STAPLES. RECORDED S.C.R.D. PLAN 37-54.
- LOT LINE ADJUSTMENT FOR W.P.L. N.H. 3, INC. AND GREGORIOS KONTRELAKOS & HELEN KONTRELAKOS UPPER SIXTH STREET IN DOVER, N.H. SCALE: 1" = 100'. DATED: JAN. 18, 1995. BY: BRUCE L. POPOPOK. RECORDED S.C.R.D. PLAN 42-77.
- PRIZE LOT 1 THRU 14 ONLY - COCHECO PINES, DOVER, N.H. SCALE: 1" = 100'. DATED: DEC. 1876. BY: FREDERICK E. O'NEIL ASSOCIATES. RECORDED S.C.R.D. PLAN 18A-62.
- WATER IN FISHER TRAIL PLAN COVERED BRIDGE LOTS, DOVER, NEW HAMPSHIRE. SCALE: 1" = 50'. DATED: APRIL 1980. BY: G.L. SHAYS & ASSOCIATES. RECORDED S.C.R.D. 200-24.
- SUBDIVISION OF LAND FOR GREGORIOS KONTRELAKOS IN DOVER, N.H. SCALE: 1" = 100'. DATED: MARCH 8, 1978. BY: BRUCE L. POPOPOK. RECORDED S.C.R.D. PLAN 100-100.
- SUBDIVISION OF LAND PREPARED FOR JAMES A. SMITH LOCATED AT COUNTY FARM CROSS ROAD, DOVER, N.H. SCALE: 1" = 100'. DATED: 37 APRIL 1988. REV. TO 3-12-1988. BY: ATLANTIC SURVEY COMPANY. RECORDED S.C.R.D. PLAN 53-28.

NO.	DATE	REVISIONS	BY	CHK
02-1400	EASEMENT	02-14	32-74	
PROJECT NO	TYPE	FIELDBOOK & PAGES		
For Registry of Deeds Use				



**LEGEND**

- CE - CONSERVATION EASEMENT
- S.P.C.E. - SPECIAL PROVISION CONSERVATION EASEMENT
- N-E - NON-EASEMENT
- - FENCE
- - STONE WALL
- - EDGE OF PAVEMENT
- - EDGE OF RIVER
- - BROOK
- D.H. - DRILL HOLE
- IP (nd) - IRON PIPE (FOUND)
- IR (nd) - IRON ROD (FOUND)
- LR (nd) - IRON ROD W/ PLASTIC I.D. CAP (SET)
- MON - MONUMENT OF UNSPECIFIED MATERIAL
- MORE OR LESS
- TR - TYPICAL
- S.F. - SQUARE FEET
- AC - ACRES
- S.C.R.D. - STRAFFORD COUNTY REGISTRY OF DEEDS
- S.P.N.H.F. - SOCIETY FOR THE PROTECTION OF NEW HAMPSHIRE FORESTS

**CONSERVATION EASEMENT PLAN**  
 OF  
**STRAFFORD COUNTY LANDS**  
 PREPARED FOR THE  
**SOCIETY FOR THE PROTECTION**  
**OF NEW HAMPSHIRE FORESTS**  
 TAX MAP B, LOT No. 20 & TAX MAP C, LOT No. 4  
**COUNTY FARM ROAD and**  
**COUNTY FARM CROSS ROAD**  
**DOVER, STRAFFORD COUNTY, NEW HAMPSHIRE**

DRAWN BY: **RMW** FILE: **02-PY40002-14000**  
 SCALE: 1" = 250' DATE: **NOVEMBER 25, 2002**

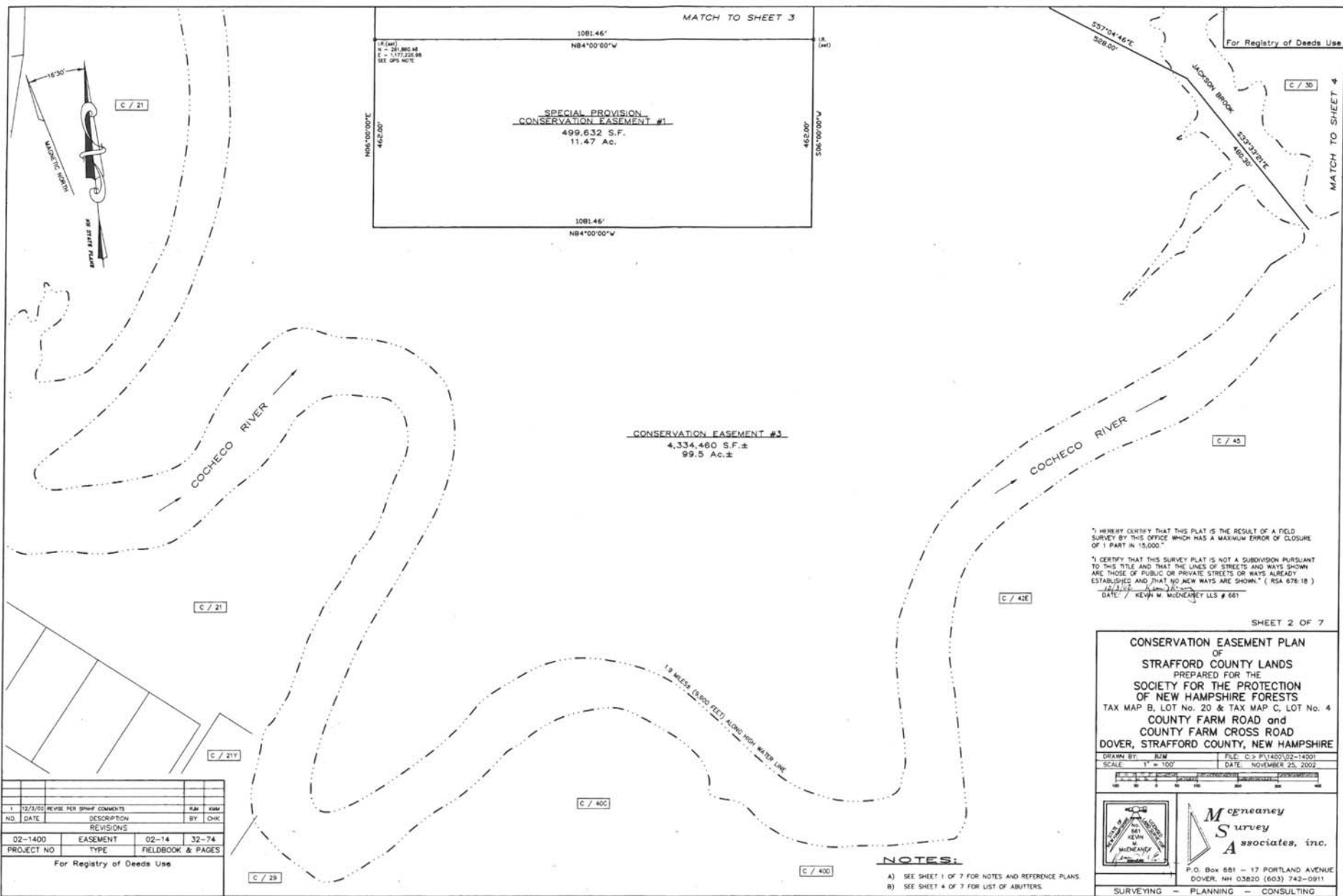
**M. McNeaney**  
**S**urvey  
**A**ssociates, Inc.  
 P.O. Box 681 - 17 PORTLAND AVENUE  
 DOVER, NH 03820 (603) 742-0911

**SURVEYING - PLANNING - CONSULTING**

PLAN M-3

SHEET 1 OF 7

SHEET 2



PLAN 08-5

I HEREBY CERTIFY THAT THIS PLAT IS THE RESULT OF A FIELD SURVEY BY THIS OFFICE WHICH HAS A MAXIMUM ERROR OF CLOSURE OF 1 PART IN 15,000.  
I CERTIFY THAT THIS SURVEY PLAT IS NOT A SUBDIVISION PURSUANT TO THIS TITLE AND THAT THE LINES OF STREETS AND WAYS SHOWN ARE THOSE OF PUBLIC OR PRIVATE STREETS OR WAYS ALREADY ESTABLISHED AND THAT NO NEW WAYS ARE SHOWN.  
DATE: 11/21/02 BY: KEVIN W. MCGEANEY LLS # 561

SHEET 2 OF 7

**CONSERVATION EASEMENT PLAN**  
OF  
**STRAFFORD COUNTY LANDS**  
PREPARED FOR THE  
**SOCIETY FOR THE PROTECTION**  
**OF NEW HAMPSHIRE FORESTS**  
TAX MAP B, LOT No. 20 & TAX MAP C, LOT No. 4  
**COUNTY FARM ROAD and**  
**COUNTY FARM CROSS ROAD**  
**DOVER, STRAFFORD COUNTY, NEW HAMPSHIRE**

DRAWN BY: <b>ALM</b>	FILE: <b>C-2 P(1400)02-1400</b>
SCALE: <b>1" = 100'</b>	DATE: <b>NOVEMBER 25, 2002</b>

**McGeaney**  
**Survey**  
**Associates, inc.**

P.O. Box 581 - 17 PORTLAND AVENUE  
DOVER, NH 03820 (603) 742-0911

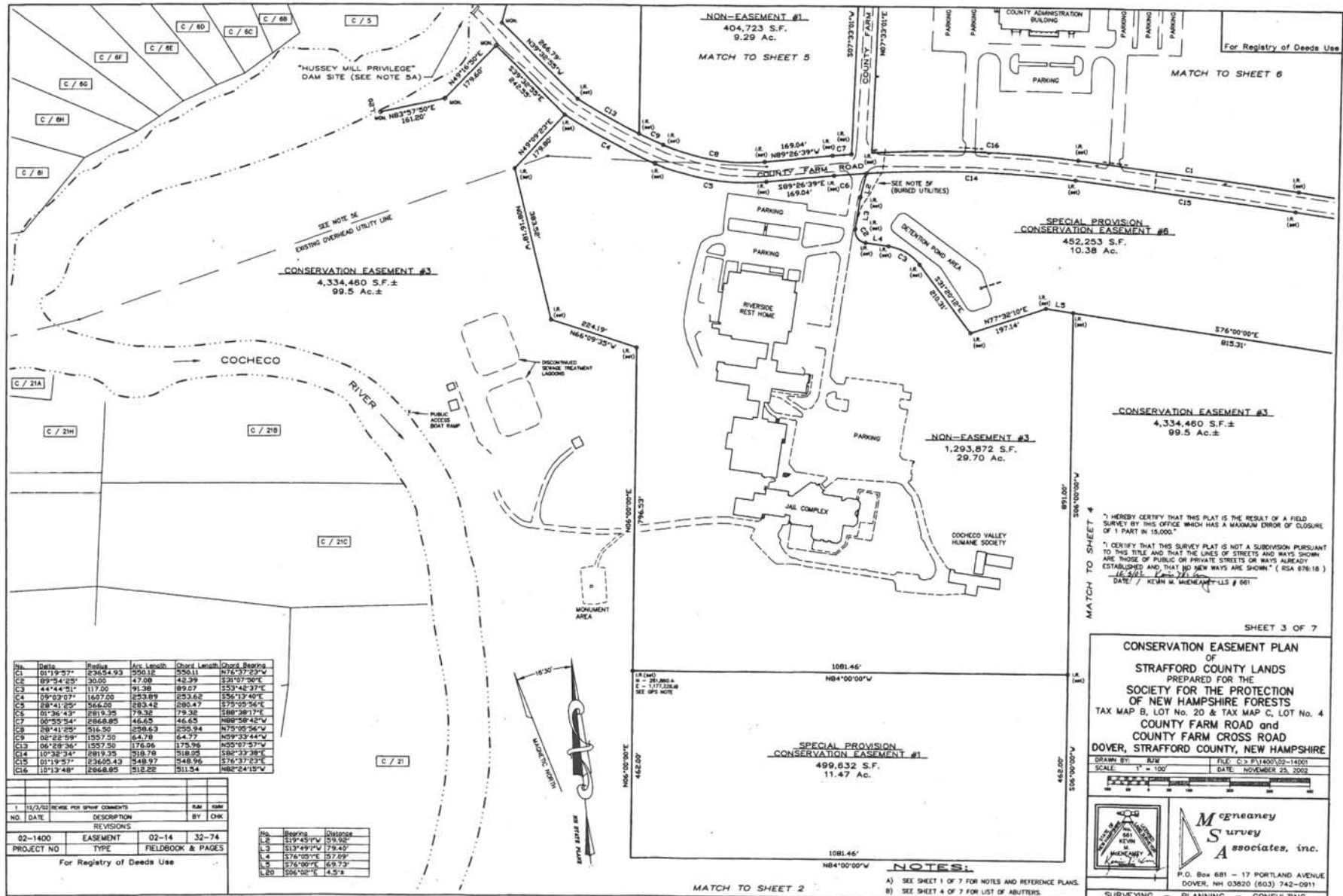
SURVEYING - PLANNING - CONSULTING

NO.	DATE	REVISIONS	BY	CHK
1	12/3/02	REVISE PER SHAW COMMENTS	ALM	KWM
		DESCRIPTION		BY
				CHK
02-1400		EASEMENT	02-14	32-74
PROJECT NO.		TYPE	FIELDBOOK & PAGES	

For Registry of Deeds Use

**NOTES:**  
A) SEE SHEET 1 OF 7 FOR NOTES AND REFERENCE PLANS  
B) SEE SHEET 4 OF 7 FOR LIST OF ABUTTERS.

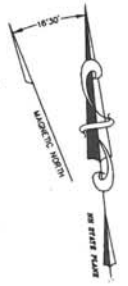




Sta.	Bearing	Distance	Ac. Length	Chord Length	Chord Bearing
C1	01°19'27"	23654.93	530.12	530.11	87°45'22"W
C2	89°54'25"	30.00	47.08	48.29	33°07'30"E
C3	44°44'51"	117.00	91.38	89.07	25°42'37"E
C4	09°03'37"	1007.00	853.89	853.62	354°13'49"E
C5	28°41'25"	566.00	883.42	880.47	57°05'56"E
C6	01°36'43"	2819.35	79.32	79.32	188°38'17"E
C7	00°25'34"	2868.85	46.65	46.65	188°38'42"W
C8	28°41'25"	516.50	258.63	255.94	87°05'56"W
C9	08°22'59"	1557.50	64.78	64.77	109°33'44"W
C10	04°08'36"	1557.50	176.95	175.96	109°01'51"W
C11	10°32'34"	8819.35	518.78	518.05	182°33'38"E
C12	01°19'27"	23665.43	548.97	548.95	174°31'23"E
C13	01°19'48"	23668.89	512.22	511.54	186°24'19"W

1. 11/2/02 REVIEW FOR SIGNATURE COMMENTS		RAM	KRM
NO.	DATE	DESCRIPTION	BY
REVISIONS			
02-1400	EASEMENT	02-14	32-74
PROJECT NO.	TYPE	FIELDBOOK & PAGES	
For Registry of Deeds Use			

Sta.	Bearing	Distance
L2	119°45'11"W	59.92
L3	113°49'11"W	79.40
L4	174°05'11"E	57.59
L5	174°00'00"E	69.73
L6	106°00'00"E	4.52



I HEREBY CERTIFY THAT THIS PLAN IS THE RESULT OF A FIELD SURVEY BY THIS OFFICE WHICH HAS A MAXIMUM ERROR OF CLOSURE OF 1 PART IN 15,000."

I CERTIFY THAT THIS SURVEY PLAN IS NOT A SUBDIVISION PURSUANT TO THIS TITLE AND THAT THE LINES OF STREETS AND WAYS SHOWN ARE THOSE OF PUBLIC OR PRIVATE STREETS OR WAYS ALREADY ESTABLISHED AND THAT NO NEW WAYS ARE SHOWN."

DATE: 11/2/02  
BY: KEVIN M. MCKENNEY - LLS # 661

**CONSERVATION EASEMENT PLAN**  
OF  
**STRAFFORD COUNTY LANDS**  
PREPARED FOR THE  
**SOCIETY FOR THE PROTECTION OF NEW HAMPSHIRE FORESTS**  
TAX MAP B, LOT No. 20 & TAX MAP C, LOT No. 4  
**COUNTY FARM ROAD AND COUNTY FARM CROSS ROAD**  
DOVER, STRAFFORD COUNTY, NEW HAMPSHIRE

DRAWN BY: KRM  
SCALE: 1" = 100'  
DATE: NOVEMBER 23, 2002

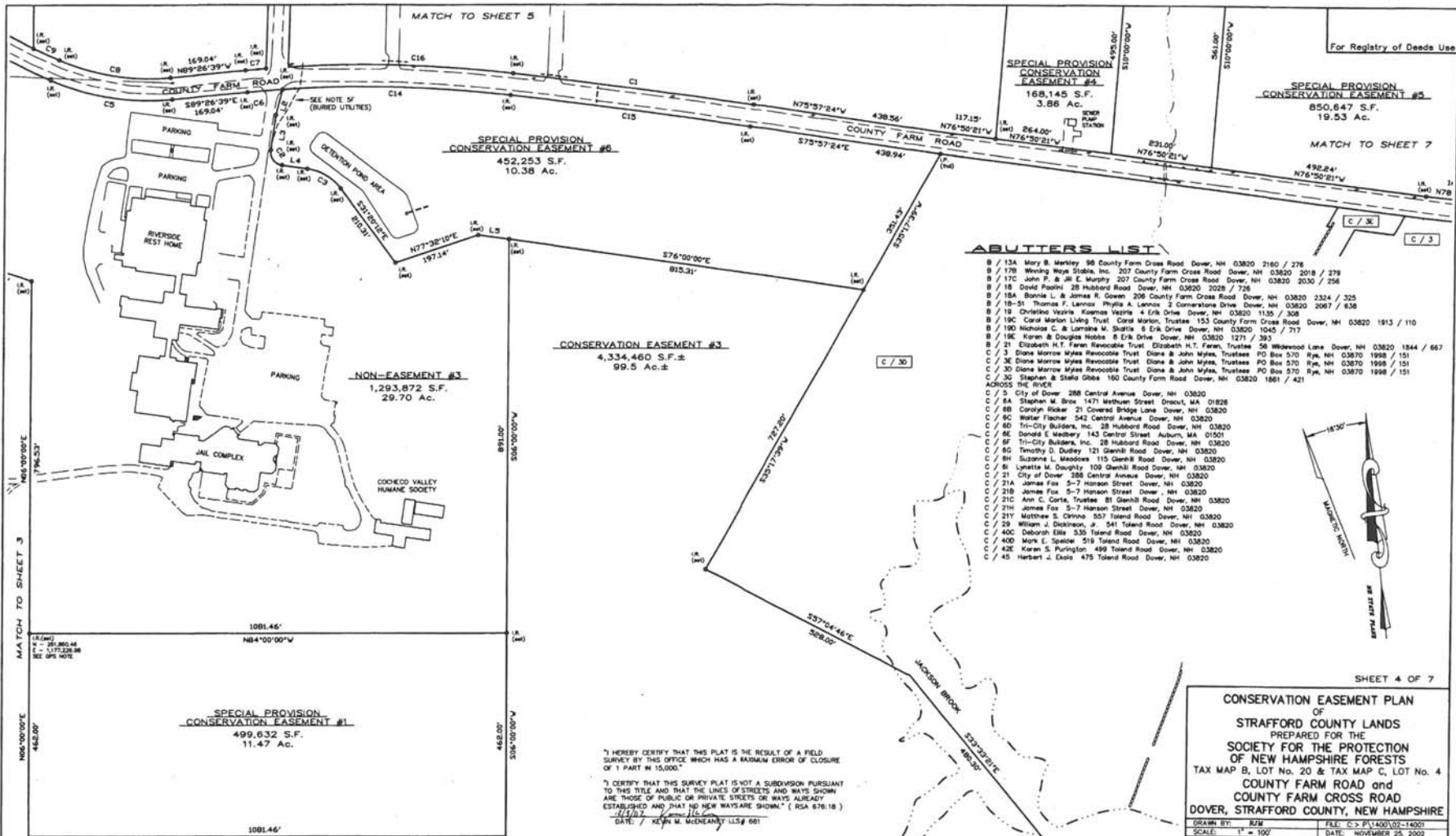
**Mckenney Survey Associates, Inc.**  
P.O. Box 681 - 17 PORTLAND AVENUE  
DOVER, NH 03820 (603) 742-0911

SURVEYING - PLANNING - CONSULTING

- NOTES:**
- SEE SHEET 1 OF 7 FOR NOTES AND REFERENCE PLANS.
  - SEE SHEET 4 OF 7 FOR LIST OF ABUTTERS.

PLAN 08-7

LEJLD



**SPECIAL PROVISION CONSERVATION EASEMENT #4**  
168,145 S.F.  
3.86 Ac.

**SPECIAL PROVISION CONSERVATION EASEMENT #5**  
850,647 S.F.  
19.53 Ac.

**SPECIAL PROVISION CONSERVATION EASEMENT #6**  
452,253 S.F.  
10.38 Ac.

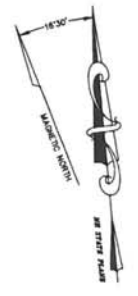
**CONSERVATION EASEMENT #3**  
4,334,460 S.F.±  
99.5 Ac.±

**NON-EASEMENT #3**  
1,293,872 S.F.  
29.70 Ac.

**SPECIAL PROVISION CONSERVATION EASEMENT #1**  
499,632 S.F.  
11.47 Ac.

**ABUTTERS LIST**

- B / 13A Mary B. Markey 96 County Farm Cross Road, Dover, NH 03820 2160 / 278
  - B / 17B Winding Ways Stable, Inc. 207 County Farm Cross Road, Dover, NH 03820 2018 / 279
  - B / 17C John P. & Jill E. Murphy 207 County Farm Cross Road, Dover, NH 03820 2030 / 258
  - B / 18 David Padon, 28 Hubbard Road, Dover, NH 03820 2028 / 726
  - B / 18A Bonnie L. & James R. Green 208 County Farm Cross Road, Dover, NH 03820 2324 / 325
  - B / 18-51 Thomas F. Lannos Phyllis A. Lannos 2 Cornerstone Drive, Dover, NH 03820 2067 / 638
  - B / 19 Christine Yarrin-Koones Yarrin 4 Erik Drive, Dover, NH 03820 1135 / 308
  - B / 19C Carol Marlon Living Trust Carol Marlon, Trustee 153 County Farm Cross Road, Dover, NH 03820 1913 / 110
  - B / 19D Nicholas C. & Lorraine M. Skaria 6 Erik Drive, Dover, NH 03820 1045 / 717
  - B / 19E Karen & Douglas Hoole 8 Erik Drive, Dover, NH 03820 1221 / 393
  - B / 21 Elizabeth H.T. Faren Revocable Trust, Elizabeth H.T. Faren, Trustee 56 Willowood Lane, Dover, NH 03820 1844 / 667
  - B / 3 Diane Morrow Myas Revocable Trust Diane & John Myas, Trustees PO Box 570 Rye, NH 03870 1998 / 151
  - C / 3E Diane Morrow Myas Revocable Trust Diane & John Myas, Trustees PO Box 570 Rye, NH 03870 1998 / 151
  - C / 3D Diane Morrow Myas Revocable Trust Diane & John Myas, Trustees PO Box 570 Rye, NH 03870 1998 / 151
  - C / 3E Stephen & Sheila Gibbs 160 County Farm Road, Dover, NH 03820 1861 / 421
- ACROSS THE RIVER**
- C / 3 City of Dover 288 Central Avenue, Dover, NH 03820
  - C / 8A Stephen M. Dow 1471 Methuen Street, Dover, NH 03820
  - C / 8B Carolyn Rickard 21 Covered Bridge Lane, Dover, NH 03820
  - C / 8C Walter Fischer 542 Central Avenue, Dover, NH 03820
  - C / 60 Tri-City Builders, Inc. 28 Hubbard Road, Dover, NH 03820
  - C / 6C Donald E. Meadbery 143 Central Street, Auburn, MA 01501
  - C / 6F Tri-City Builders, Inc. 28 Hubbard Road, Dover, NH 03820
  - C / 6G Timothy D. Dudley 121 Glenhill Road, Dover, NH 03820
  - C / 8H Suzanne L. Meadows 115 Glenhill Road, Dover, NH 03820
  - C / 8I Lynette M. Daughly 108 Glenhill Road, Dover, NH 03820
  - C / 21 City of Dover 288 Central Avenue, Dover, NH 03820
  - C / 21A James Fox 5-7 Hanson Street, Dover, NH 03820
  - C / 21B James Fox 5-7 Hanson Street, Dover, NH 03820
  - C / 21C Ann C. Corta, Trustee 81 Glenhill Road, Dover, NH 03820
  - C / 21D James Fox 5-7 Hanson Street, Dover, NH 03820
  - C / 21Y Matthew S. Cimino 507 Toland Road, Dover, NH 03820
  - C / 29 William J. Dickinson, Jr. 541 Toland Road, Dover, NH 03820
  - C / 40C Deborah Ellis 535 Toland Road, Dover, NH 03820
  - C / 40D Mark E. Spaldie 519 Toland Road, Dover, NH 03820
  - C / 42E Karen S. Purington 489 Toland Road, Dover, NH 03820
  - C / 45 Herbert J. Davis 475 Toland Road, Dover, NH 03820



"I HEREBY CERTIFY THAT THIS PLAN IS THE RESULT OF A FIELD SURVEY BY THIS OFFICE WHICH HAS A MAXIMUM ERROR OF CLOSURE OF 1" PART IN 10,000."

"I CERTIFY THAT THIS SURVEY PLAN IS NOT A SUBDIVISION PURSUANT TO THIS TITLE AND THAT THE LINES OF STREETS AND WAYS SHOWN ARE THOSE OF PUBLIC OR PRIVATE STREETS OR WAYS ALREADY ESTABLISHED AND THAT NO NEW WAYS ARE SHOWN." (RSA 876:18)

DATE: / KEVIN M. MCGEANNEY LLS# 661

SHEET 4 OF 7

**CONSERVATION EASEMENT PLAN OF STRAFFORD COUNTY LANDS PREPARED FOR THE SOCIETY FOR THE PROTECTION OF NEW HAMPSHIRE FORESTS**

TAX MAP B, LOT No. 20 & TAX MAP C, LOT No. 4  
**COUNTY FARM ROAD and COUNTY FARM CROSS ROAD DOVER, STRAFFORD COUNTY, NEW HAMPSHIRE**

DRAWN BY: KJM FILE: C:\P\400102-14001  
SCALE: 1" = 100' DATE: NOVEMBER 28, 2002

**McGeaney Survey Associates, Inc.**  
P.O. Box 881 - 17 PORTLAND AVENUE DOVER, NH 03820 (603) 742-0911  
SURVEYING - PLANNING - CONSULTING

NO.	DATE	REVISIONS	BY	CHK
1	11/21/02	REVISE PER OWNER COMMENTS	KJM	KJM
2	11/21/02	REVISIONS	BY	CHK

02-1400 EASEMENT 02-14 32-74  
PROJECT NO. TYPE FIELDBOOK & PAGES  
For Registry of Deeds Use

MATCH TO SHEET 3

No.	Bearing	Distance
L1	S19°45'04"V	59.98'
L2	S13°49'28"V	79.40'
L3	S76°05'03"V	57.09'
L4	S76°05'03"V	57.09'
L5	S76°00'00"E	62.73'

No.	Bearing	Radius	Arc Length	Chord Length	Chord Bearing
C1	01°19'57"	23654.93	950.18	956.11	N76°37'23"V
C2	09°54'25"	30.00	47.68	42.39	S33°03'26"E
C3	44°44'51"	117.00	91.38	89.07	S53°42'37"E
C4	08°41'25"	568.00	883.42	890.47	S75°05'56"E
C5	01°36'43"	819.33	79.32	79.32	S88°30'11"E
C7	00°55'54"	8848.85	46.65	46.65	N88°58'42"V
C8	08°41'25"	516.50	858.63	855.94	N75°05'56"V
C9	08°22'59"	1537.50	64.78	64.77	N59°33'44"V
C10	01°36'43"	2819.35	518.78	518.05	S88°33'38"E
C11	01°19'57"	23605.43	948.97	948.96	S76°37'23"E
C16	10°13'48"	8968.85	512.22	511.54	N82°24'13"V

**NOTES:**

- A) SEE SHEET 1 OF 7 FOR NOTES AND REFERENCE PLANS.
- B) SEE SHEET 4 OF 7 FOR LIST OF ABUTTERS.

I HEREBY CERTIFY THAT THIS PLAN IS THE RESULT OF A FIELD SURVEY BY THIS OFFICE WHICH HAS A MAXIMUM ERROR OF CLOSURE OF 1 PART IN 15,000."

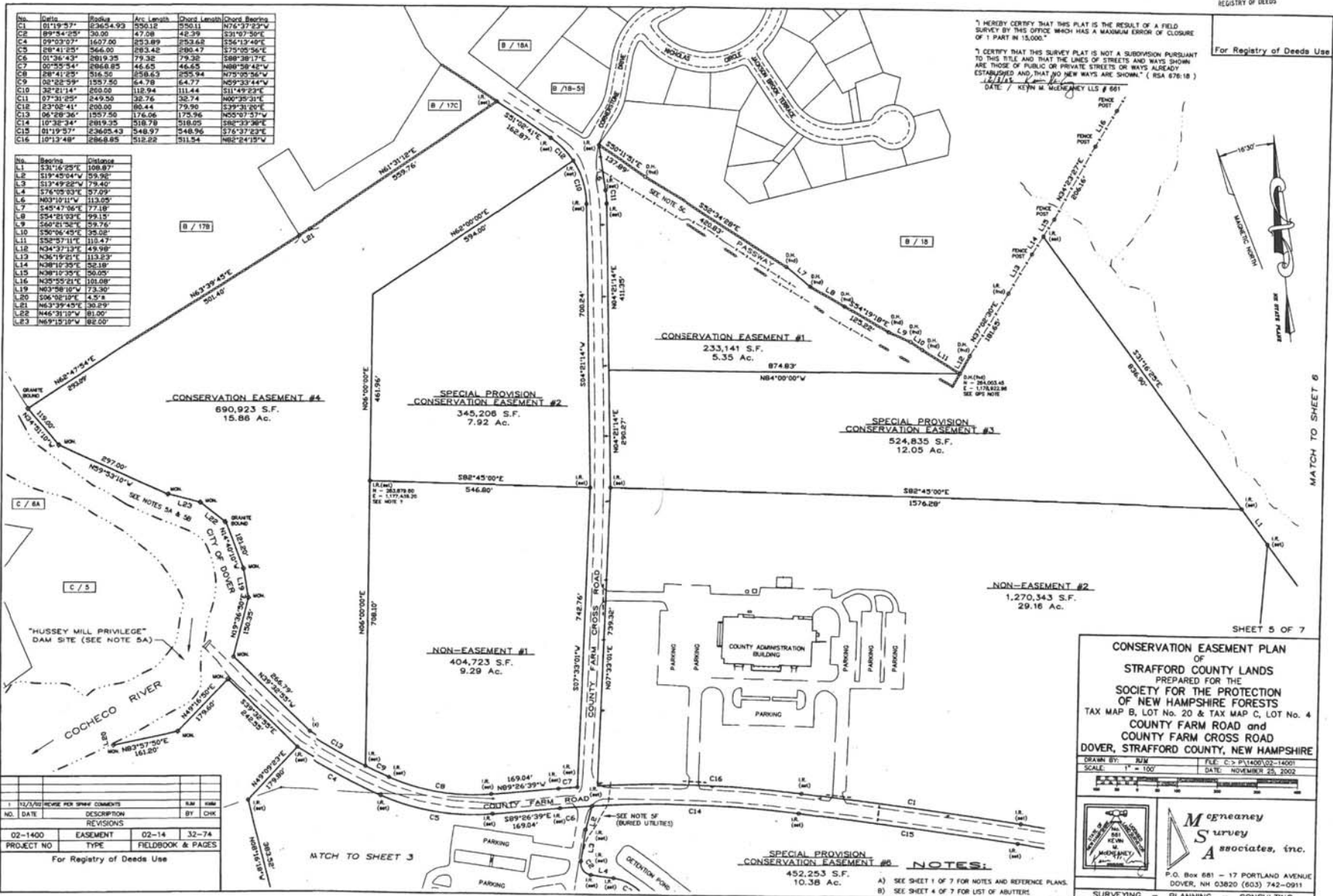
For Registry of Deeds Use

I CERTIFY THAT THIS SURVEY PLAN IS NOT A SUBDIVISION PURSUANT TO THIS TITLE AND THAT THE LINES OF STREETS AND WAYS SHOWN ARE THOSE OF PUBLIC OR PRIVATE STREETS OR WAYS ALREADY ESTABLISHED AND THAT NO NEW WAYS ARE SHOWN" (RSA 676:18)

DATE / KEVIN W. MCGEANNEY LLS # 661

No.	Bearing	Radius	Arc Length	Chord Length	Chord Bearing
C1	S11°19'57"	63654.93	250.12	250.11	N74°37'37"W
C2	89°34'25"	30.00	47.08	42.39	S31°07'30"E
C3	09°03'07"	1607.00	253.89	253.68	S56°13'49"E
C4	08°41'25"	564.00	283.42	280.47	S73°05'56"E
C5	01°36'43"	2819.35	79.32	79.32	S88°38'17"E
C6	00°55'54"	2868.85	46.63	46.63	N88°58'48"W
C7	28°41'25"	516.50	258.63	255.94	N73°05'26"W
C8	02°22'59"	1557.50	64.78	64.77	N59°33'44"W
C9	32°21'14"	205.00	118.94	111.44	S11°49'23"E
C10	07°31'25"	249.50	32.76	32.74	N00°25'21"E
C11	23°02'41"	202.00	80.44	75.90	S39°31'20"E
C12	06°28'36"	1957.50	176.06	175.96	N05°07'37"W
C13	07°32'34"	2819.35	518.78	518.05	S88°33'36"E
C14	01°19'57"	23625.43	548.97	548.96	S76°37'23"E
C15	10°13'48"	2868.85	512.22	511.54	N82°24'19"W

No.	Bearing	Distance
L1	S31°16'29"E	108.87
L2	S19°45'04"W	25.92
L3	S13°49'28"W	79.40
L4	S76°05'33"E	57.29
L5	N03°19'11"W	113.05
L6	S54°21'22"E	99.15
L7	S45°47'06"E	77.18
L8	S60°21'26"E	39.76
L9	S30°06'45"E	25.28
L10	S38°27'11"E	113.47
L11	N34°27'13"E	49.98
L12	N06°19'01"E	113.23
L13	N08°10'31"E	252.88
L14	N38°10'35"E	50.05
L15	N03°22'21"E	101.08
L16	N03°28'07"W	73.50
L17	S06°08'10"E	45.8
L18	N63°39'45"E	30.29
L19	N46°31'07"E	81.00
L20	N69°12'15"W	82.00



NO.	DATE	REVISIONS	DESCRIPTION	BY	CHK
1	12/2/02	REVISED FOR STATE COMMENTS		KWM	KWM
2	02-14-00	EASEMENT	02-14	32-74	

For Registry of Deeds Use

**CONSERVATION EASEMENT PLAN OF STRAFFORD COUNTY LANDS**  
 PREPARED FOR THE SOCIETY FOR THE PROTECTION OF NEW HAMPSHIRE FORESTS  
 TAX MAP B, LOT No. 20 & TAX MAP C, LOT No. 4  
 COUNTY FARM ROAD and DOVER, STRAFFORD COUNTY, NEW HAMPSHIRE

EXAM BY: JWB FILE: C-5 P1408(02-1408)  
 SCALE: 1" = 100' DATE: NOVEMBER 25, 2002

**McGeaney Survey Associates, Inc.**  
 P.O. Box 681 - 17 PORTLAND AVENUE  
 DOVER, NH 03820 (603) 742-0911  
 SURVEYING - PLANNING - CONSULTING

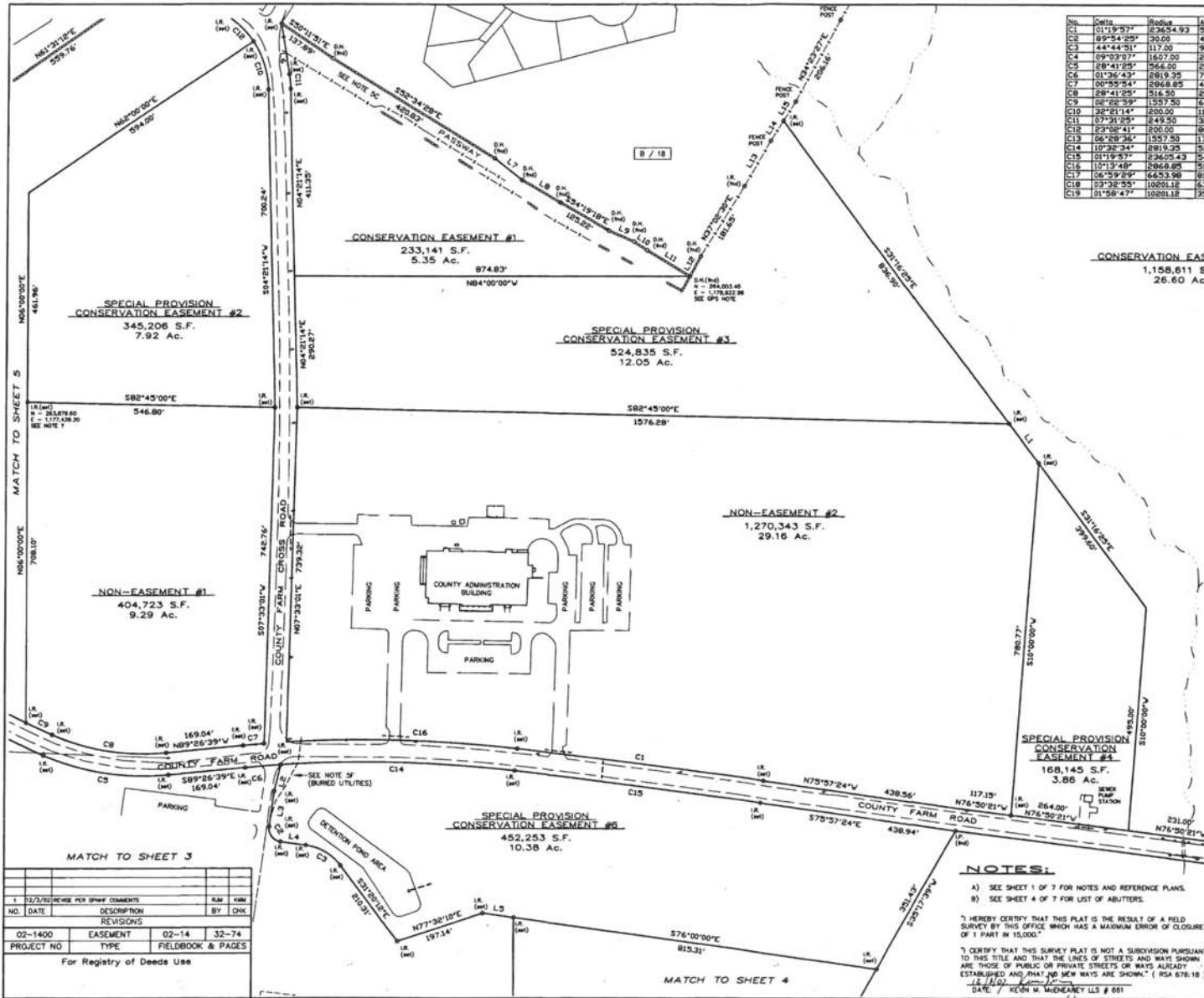
PLAN 68-9

MATCH TO SHEET 6

MATCH TO SHEET 3

SHEET 5 OF 7

**NOTES:**  
 SPECIAL PROVISION CONSERVATION EASEMENT #6  
 452,253 S.F.  
 10.36 Ac.  
 A) SEE SHEET 1 OF 7 FOR NOTES AND REFERENCE PLANS.  
 B) SEE SHEET 4 OF 7 FOR LIST OF ABUTTERS.



No.	Bearing	Radius	Arc Length	Chord Length	Chord Bearing
C1	01°19'57"	23654.93	506.18	250.11	N76°37'23"W
C2	89°54'25"	30.00	47.09	42.79	S31°07'00"E
C3	44°44'51"	117.00	91.38	89.07	S53°42'37"E
C4	09°33'37"	1607.00	253.89	253.62	S56°12'40"E
C5	88°41'26"	264.00	293.48	300.47	S78°30'56"E
C6	01°36'43"	2819.35	79.32	79.32	S88°38'17"E
C7	00°35'54"	2868.85	46.65	46.65	N88°38'44"W
C8	88°41'26"	214.50	256.43	255.94	N78°30'56"E
C9	00°26'59"	1557.50	64.78	64.77	N59°23'44"W
C10	32°21'14"	200.00	118.94	111.44	S11°49'22"E
C11	07°31'25"	1439.50	32.74	32.74	N69°25'21"E
C12	23°02'41"	200.00	90.44	79.90	S29°31'00"E
C13	06°28'36"	1557.50	176.06	175.96	N55°07'57"W
C14	10°32'34"	2819.35	518.78	518.05	S86°32'38"E
C15	01°19'57"	2365.43	548.97	548.96	S76°37'23"E
C16	10°13'48"	2868.85	512.22	511.54	N82°04'15"W
C17	06°59'29"	6653.90	811.92	811.48	S29°51'12"E
C18	03°32'55"	10201.12	631.81	631.71	S45°07'23"E
C19	01°58'47"	10201.12	352.50	352.48	S47°53'15"E

**For Registry of Deeds Use**

No.	Bearing	Distance
L1	S31°16'25"E	108.87
L2	S19°45'04"W	59.96
L3	S13°44'23"W	75.48
L4	S76°05'23"E	57.09
L5	S76°00'00"E	65.73
L6	N69°25'21"E	113.09
L7	S45°47'06"E	77.18
L8	S54°21'03"E	99.15
L9	S46°01'58"E	59.74
L10	S50°06'45"E	35.06
L11	S52°57'11"E	110.47
L12	N24°37'13"E	49.98
L13	N38°19'11"E	113.97
L14	N38°19'35"E	52.18
L15	N38°16'35"E	50.05

**For Registry of Deeds Use**

NO.	DATE	REVISION	DESCRIPTION	BY	CHK
1	12/2/02	REVISION PER CIVIL COMMENTS		RJM	MMB

PROJECT NO: 02-1400  
EASEMENT TYPE: 02-14  
FIELDBOOK & PAGES: 32-74

**CONSERVATION EASEMENT PLAN**  
OF  
**STAFFORD COUNTY LANDS**  
PREPARED FOR THE  
**SOCIETY FOR THE PROTECTION**  
OF NEW HAMPSHIRE FORESTS  
TAX MAP B, LOT No. 20 & TAX MAP C, LOT No. 4  
**COUNTY FARM ROAD and**  
**COUNTY FARM CROSS ROAD**  
**DOVER, STAFFORD COUNTY, NEW HAMPSHIRE**

DRAWN BY: RJM  
SCALE: 1" = 100'  
DATE: NOVEMBER 25, 2002

FILE: C:\140002-1400

**McGreehey**  
**S**urvey  
**A**ssociates, inc.

P.O. Box 681 - 17 PORTLAND AVENUE  
DOVER, NH 03820 (603) 742-0911

SURVEYING - PLANNING - CONSULTING

**NOTES:**

A) SEE SHEET 1 OF 7 FOR NOTES AND REFERENCE PLANS.  
B) SEE SHEET 4 OF 7 FOR LIST OF ABUTTERS.

I HEREBY CERTIFY THAT THIS PLAN IS THE RESULT OF A FIELD SURVEY BY THIS OFFICE WHICH HAS A MAXIMUM ERROR OF CLOSURE OF 1 PART IN 15,000.

I CERTIFY THAT THIS SURVEY PLAN IS NOT A SUBDIVISION PURSUANT TO THIS TITLE AND THAT THE LINES OF STREETS AND WAYS SHOWN ARE THOSE OF PUBLIC OR PRIVATE STREETS OR WAYS ALREADY ESTABLISHED AND THAT NO NEW WAYS ARE SHOWN. (RSA 678:18)

DATE: / KEVIN W. MCGREEHEY LLS # 661

PLAN 48-10

MATCH TO SHEET 7

SHEET 6 OF 7

MATCH TO SHEET 4

MATCH TO SHEET 3

MATCH TO SHEET 5

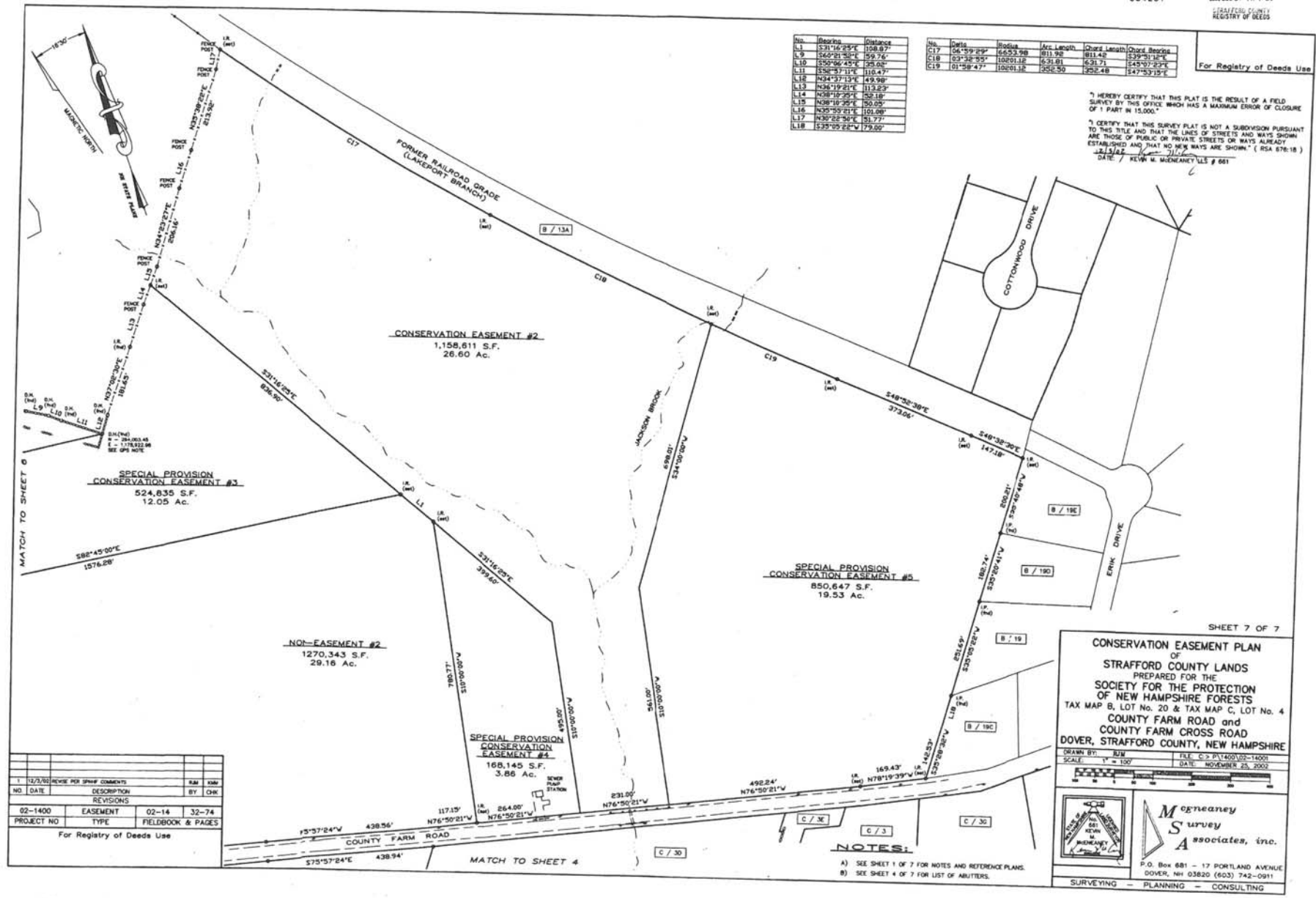
For Registry of Deeds Use

No.	Bearing	Distance
L1	S31°16'25"E	128.87'
L2	S40°21'33"E	59.76'
L3	S50°06'45"E	25.02'
L11	S35°07'11"E	116.47'
L12	N34°37'13"E	49.99'
L13	N06°19'21"E	113.23'
L14	N08°12'25"E	52.18'
L15	N08°18'35"E	50.05'
L16	N05°59'21"E	101.09'
L17	N09°22'34"E	51.77'
L18	S25°25'22"W	79.00'

No.	Date	Radius	Arc Length	Chord Length	Chord Bearing
C17	04°59'58"	6653.98	811.98	811.42	S25°31'32"E
C18	05°32'55"	10001.12	623.81	623.71	S45°07'23"E
C19	01°58'47"	10001.12	252.50	252.48	S47°33'15"E

I HEREBY CERTIFY THAT THIS PLAN IS THE RESULT OF A FIELD SURVEY BY THIS OFFICE WHICH HAS A MAXIMUM ERROR OF CLOSURE OF 1 PART IN 15,000."

I CERTIFY THAT THIS SURVEY PLAN IS NOT A SUBDIVISION PURSUANT TO THIS TITLE AND THAT THE LINES OF STREETS AND WAYS SHOWN ARE THOSE OF PUBLIC OR PRIVATE STREETS OR WAYS ALREADY ESTABLISHED AND THAT NO NEW WAYS ARE SHOWN." (RSA 876:18) 12/3/02  
DATE: / KEVIN M. McNEANEY LLS # 661



NO.	DATE	REVISIONS	BY	CHK
1	12/3/02	REVISE PER STATE COMMENTS	RAM	KMM

PROJECT NO.	EASEMENT TYPE	DATE	PAGES
02-1400	EASEMENT	02-14	32-74

For Registry of Deeds Use

**CONSERVATION EASEMENT PLAN**  
OF  
**STRAFFORD COUNTY LANDS**  
PREPARED FOR THE  
**SOCIETY FOR THE PROTECTION**  
OF NEW HAMPSHIRE FORESTS  
TAX MAP B, LOT No. 20 & TAX MAP C, LOT No. 4  
**COUNTY FARM ROAD and**  
**COUNTY FARM CROSS ROAD**  
DOVER, STRAFFORD COUNTY, NEW HAMPSHIRE

DRAWN BY: RMM  
SCALE: 1" = 100'  
DATE: NOVEMBER 25, 2002

**Mcneaney Survey Associates, inc.**  
P.O. Box 681 - 17 PORTLAND AVENUE  
DOVER, NH 03820 (603) 742-0911  
SURVEYING - PLANNING - CONSULTING

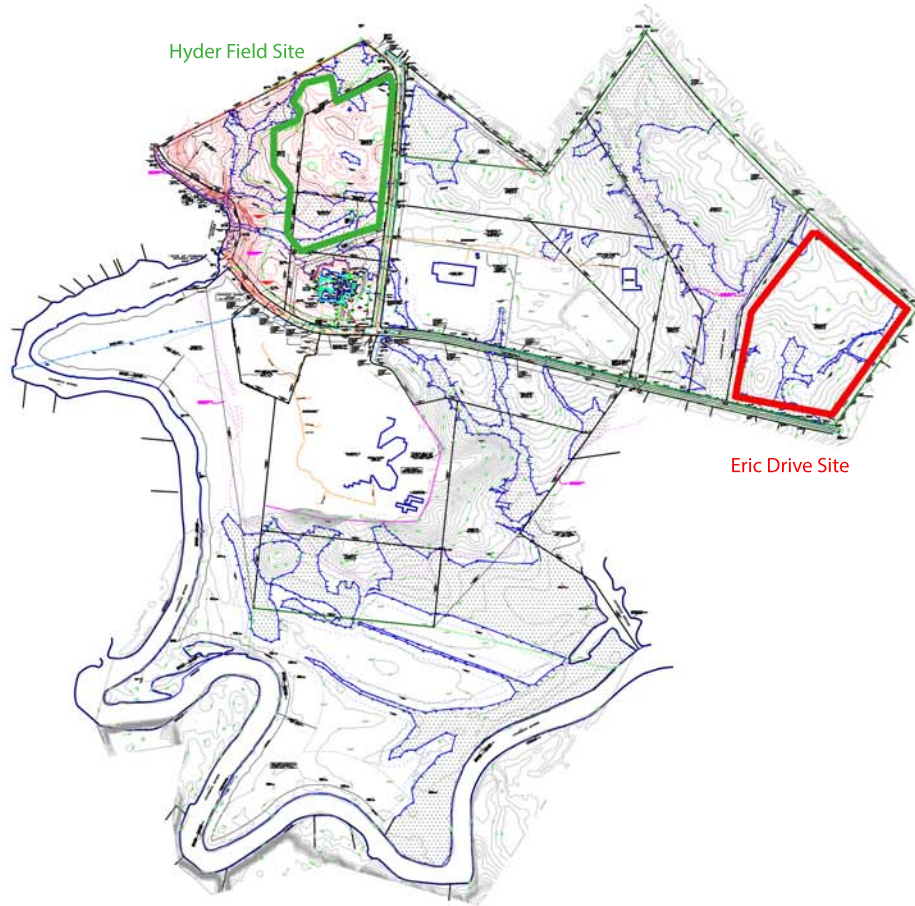
**NOTES:**  
A) SEE SHEET 1 OF 7 FOR NOTES AND REFERENCE PLANS.  
B) SEE SHEET 4 OF 7 FOR LIST OF ABUTTERS.

PLAN 44-11

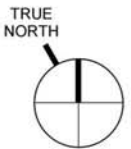
SHEET 7 OF 7

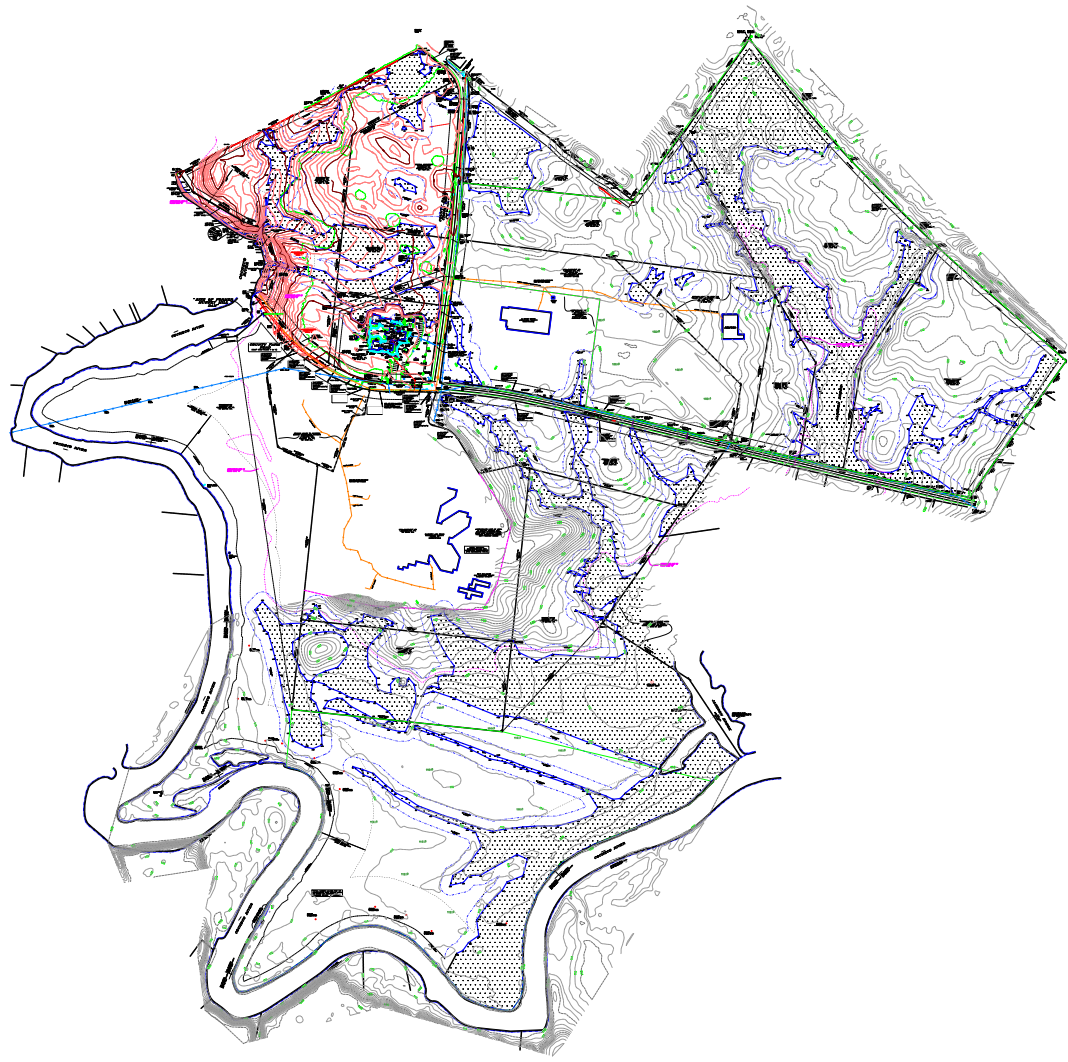


# COUNTY FARM ROAD EXISTING CONDITIONS

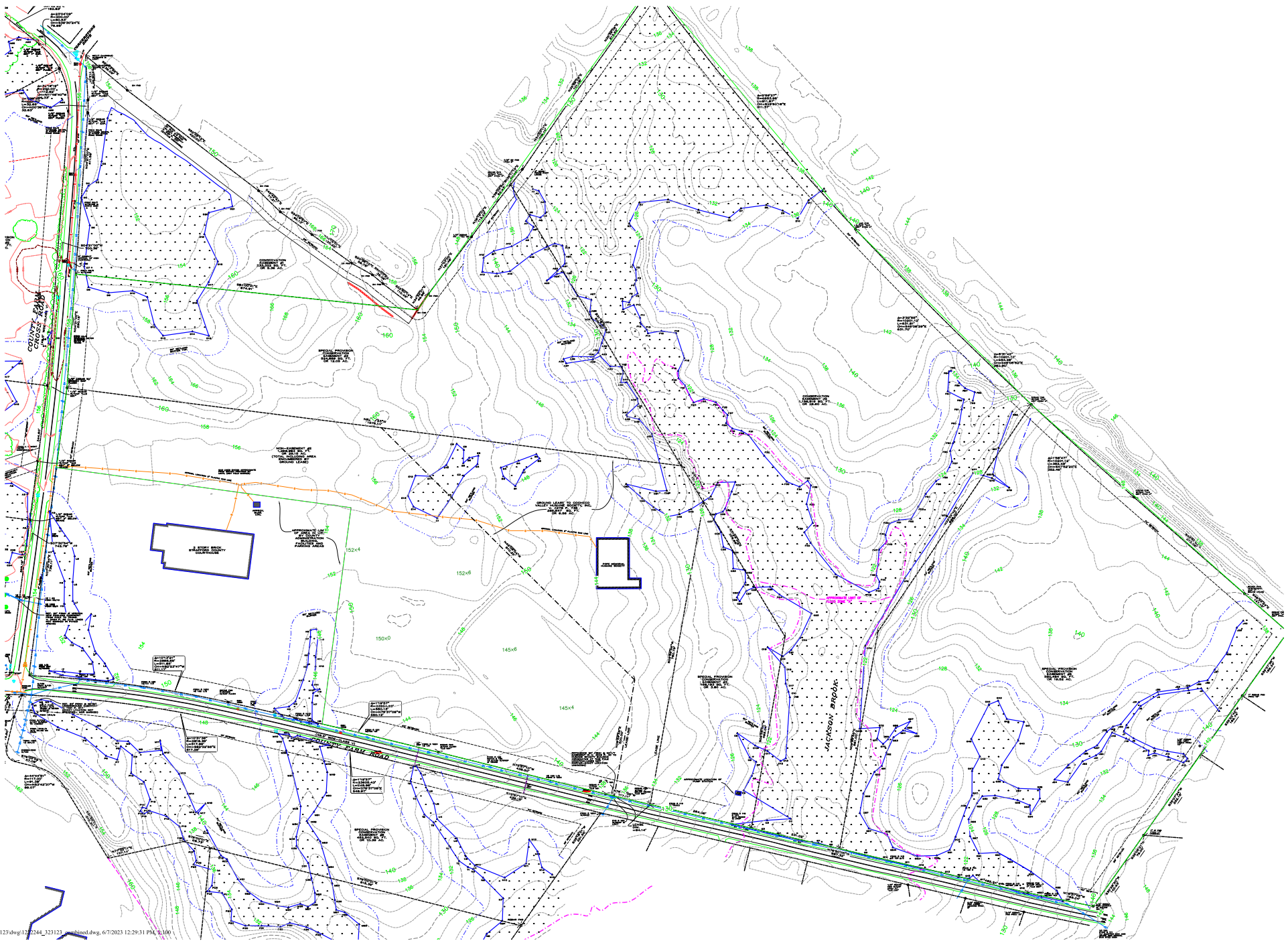


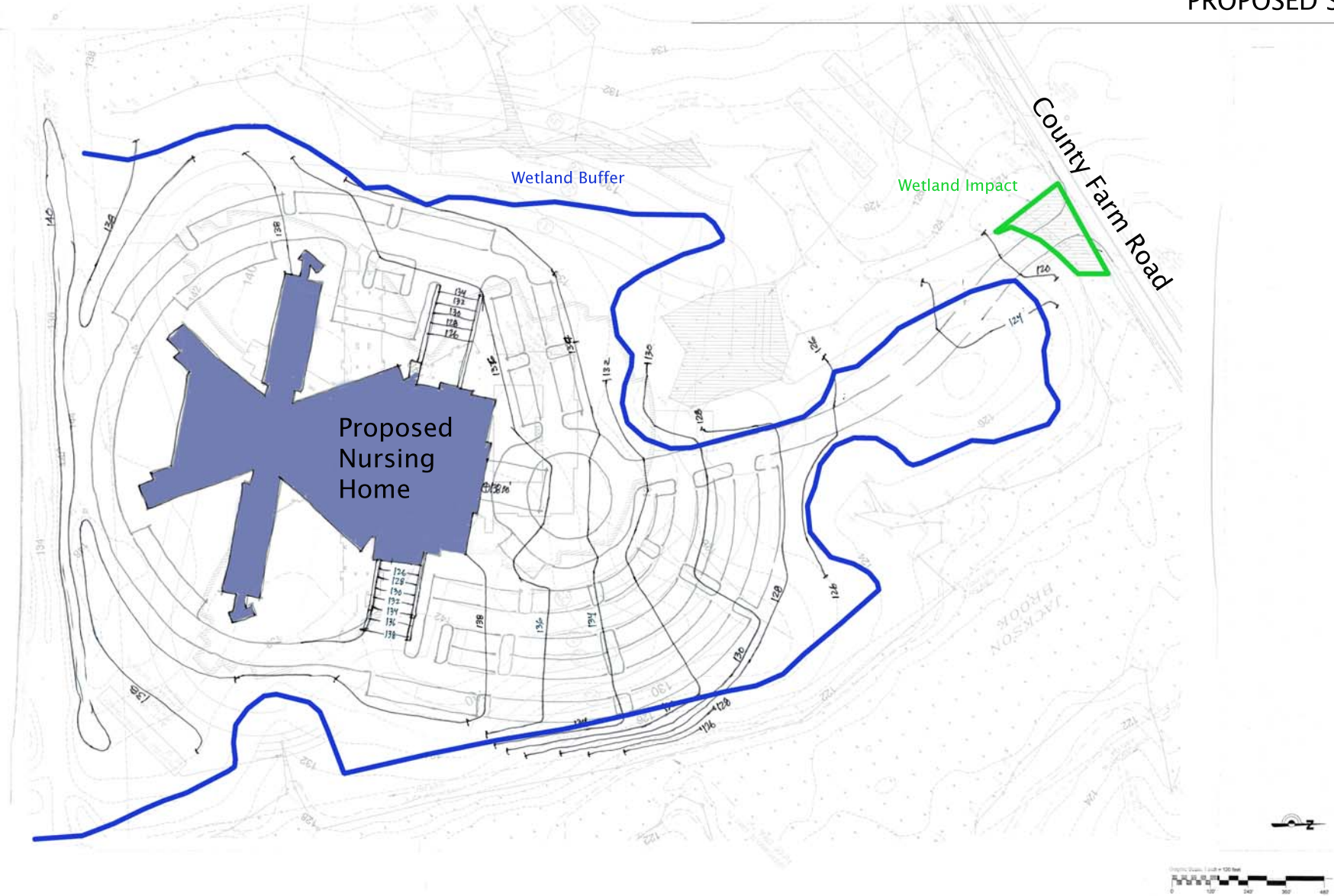
County Farm Survey  
1" = 300'

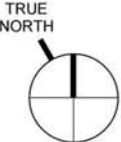
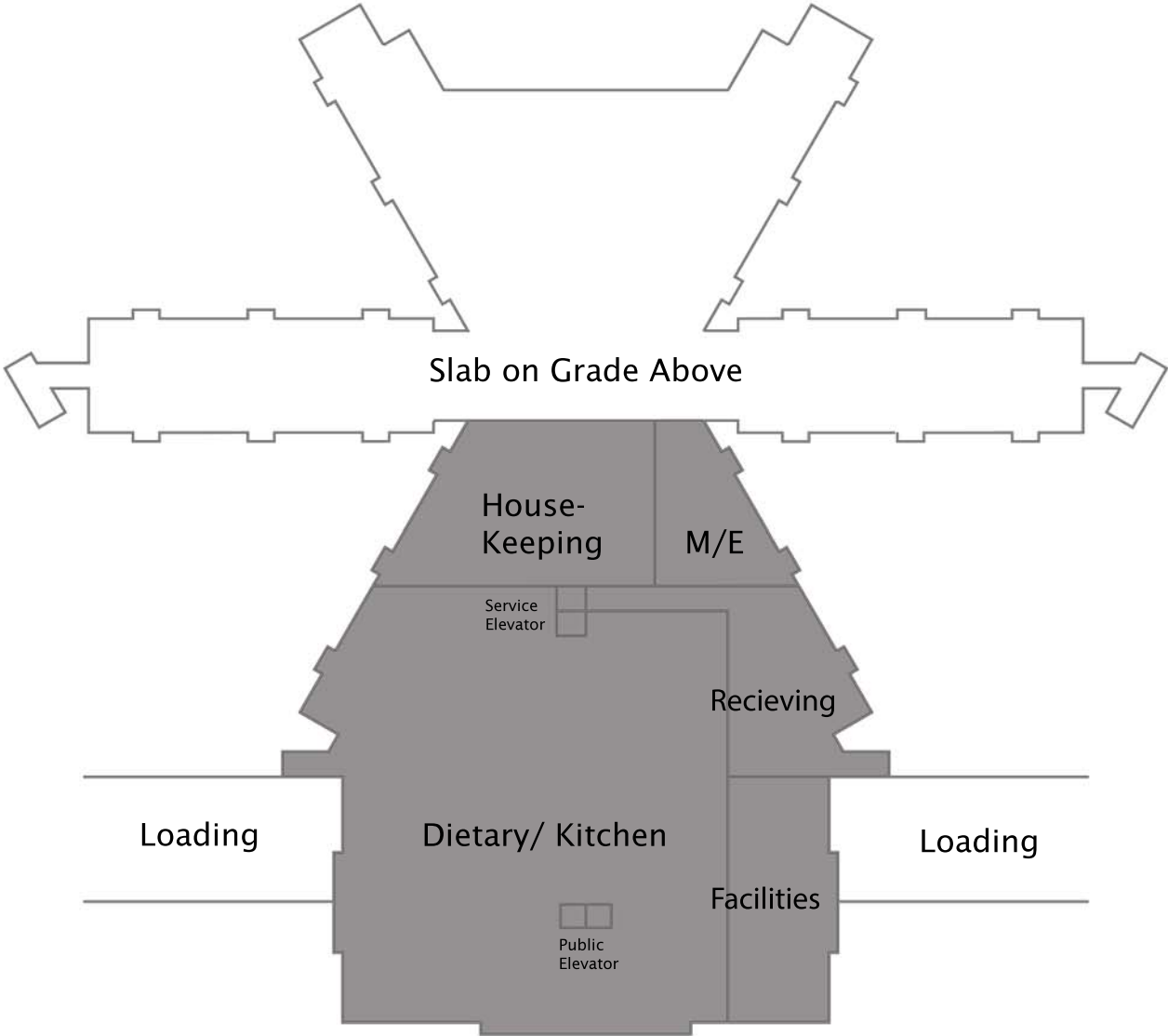




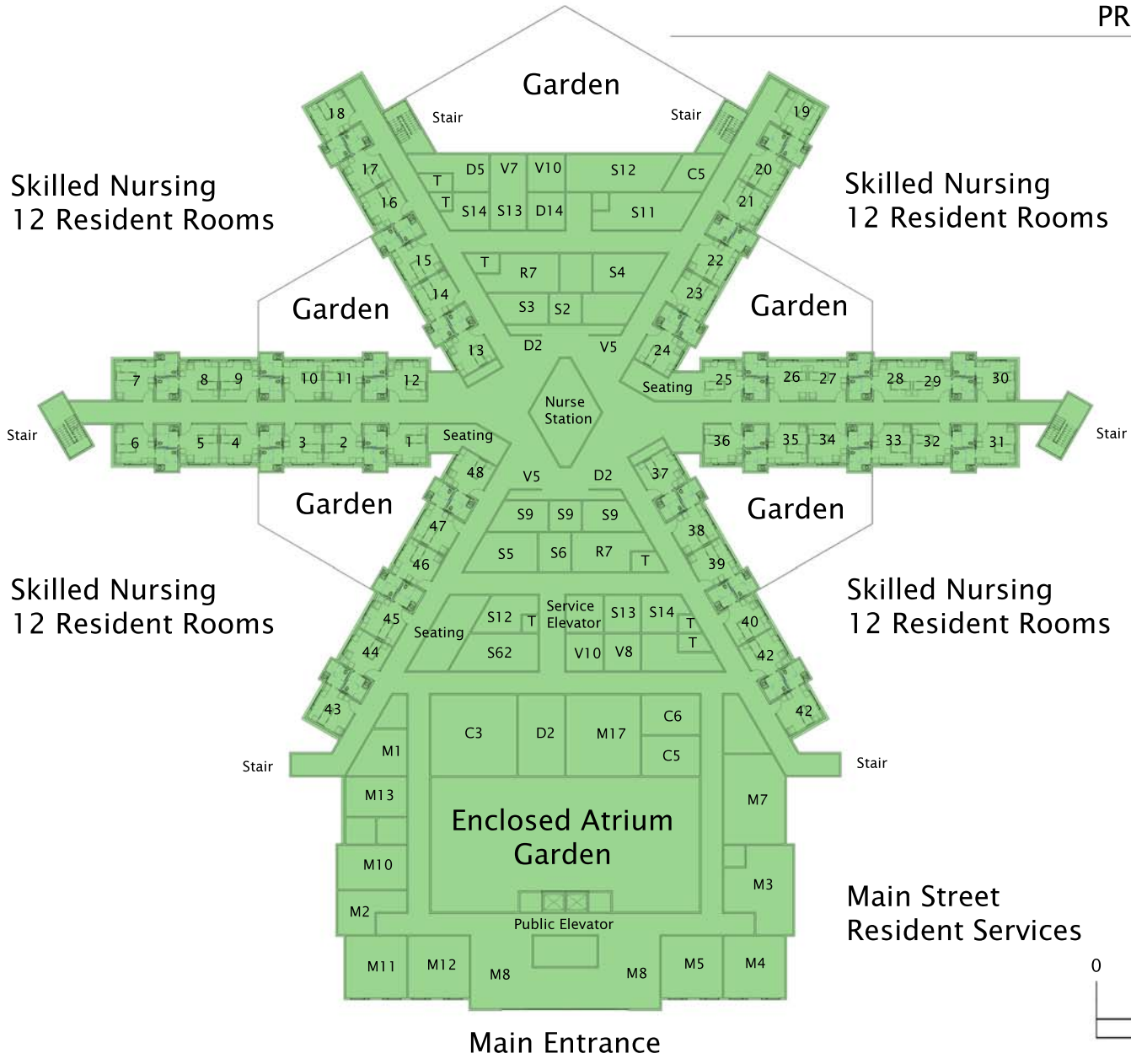


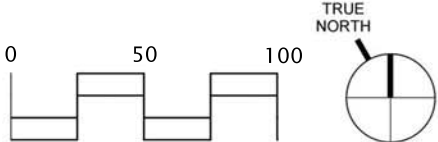
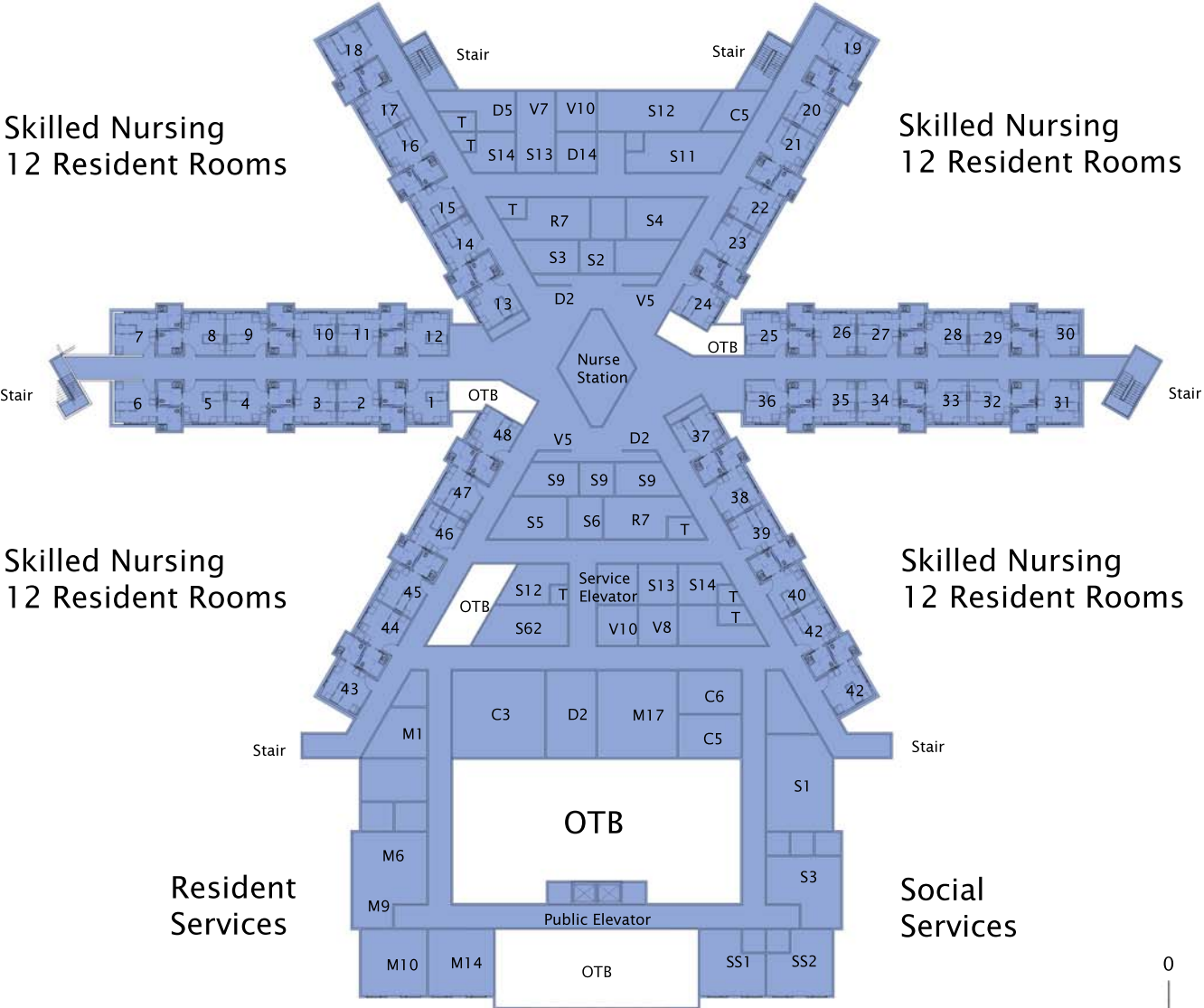


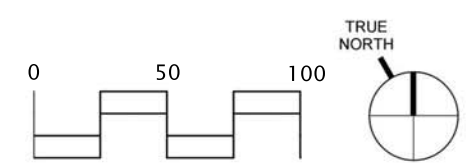
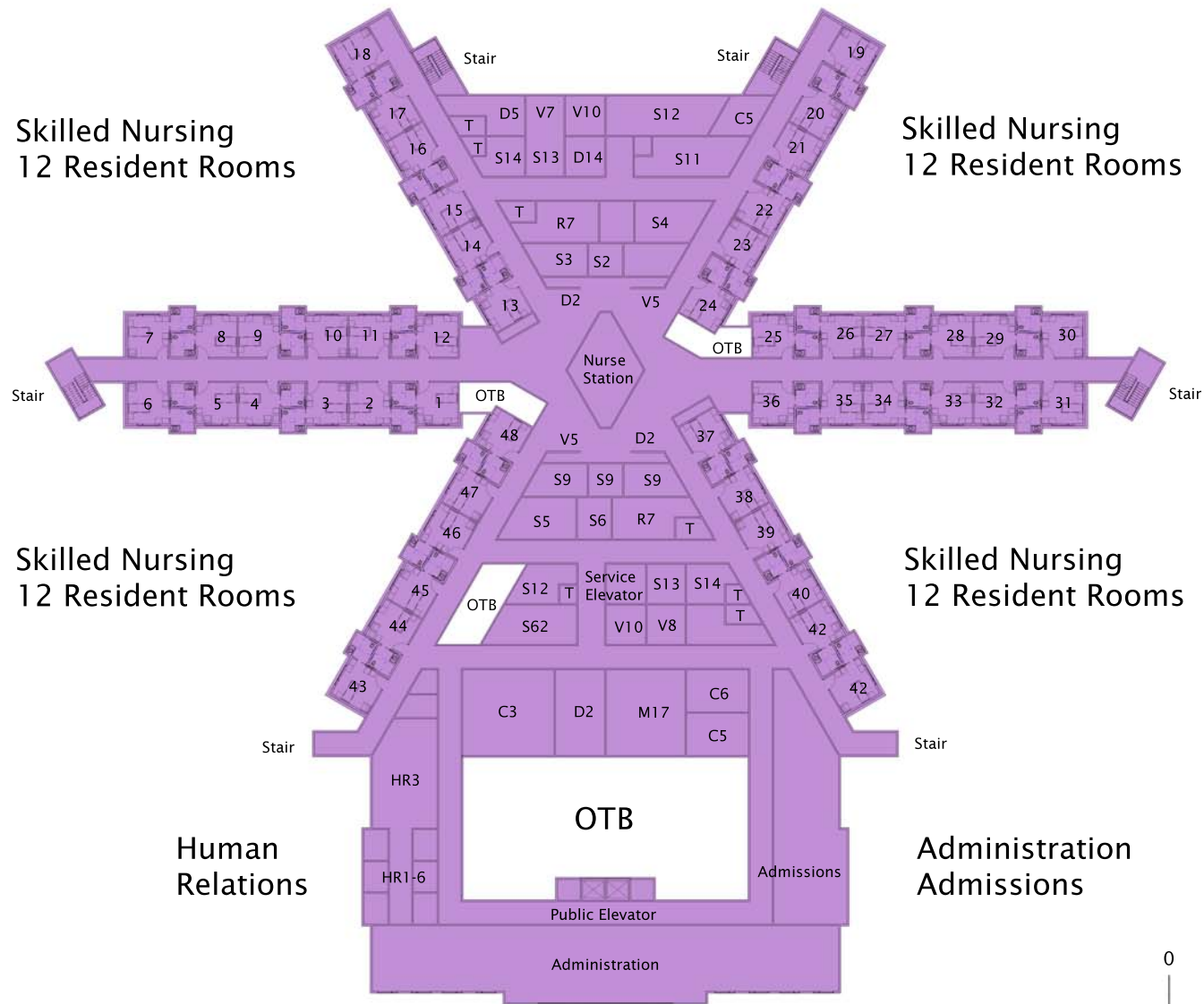


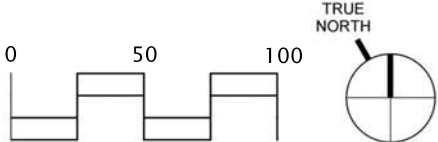
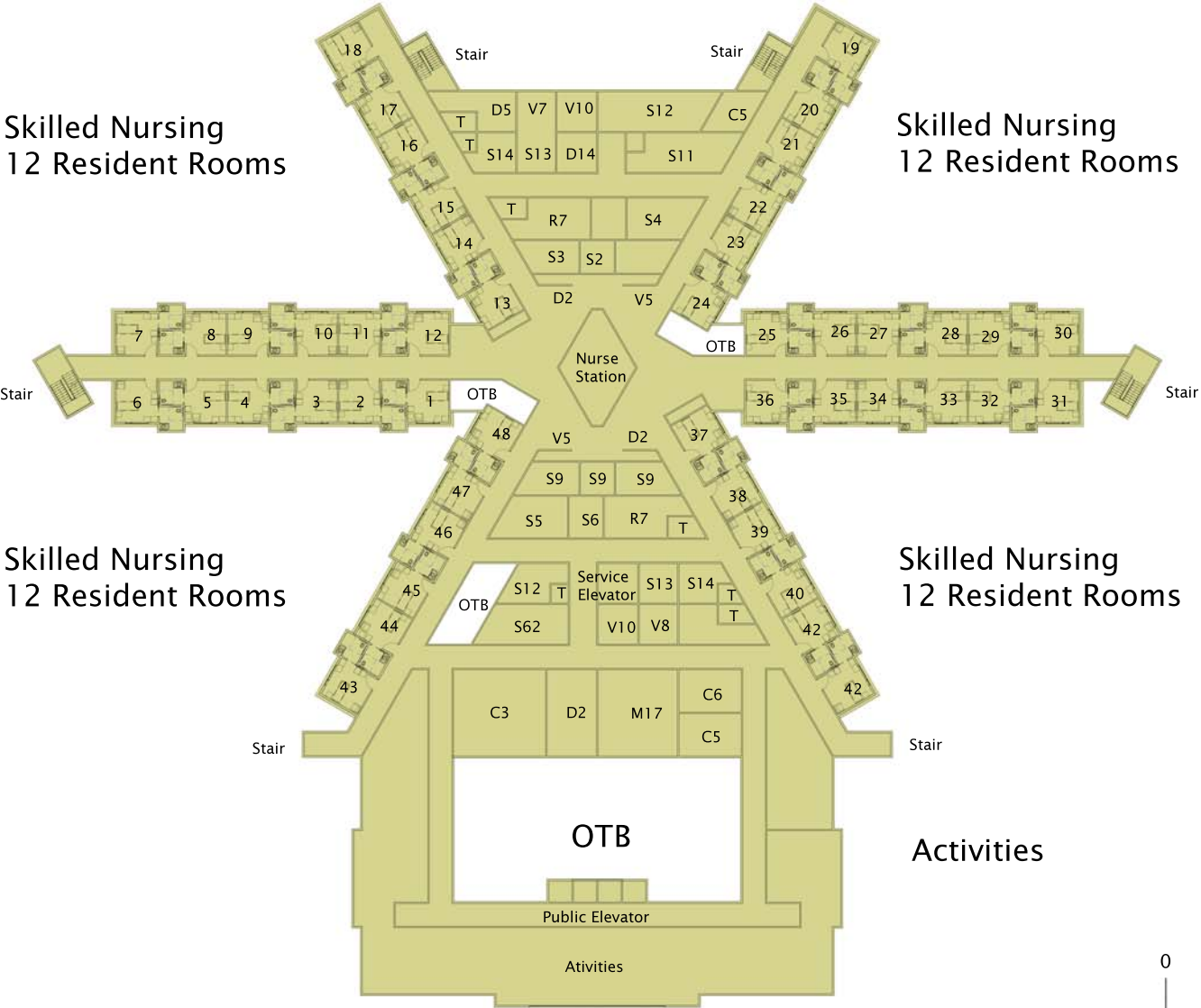


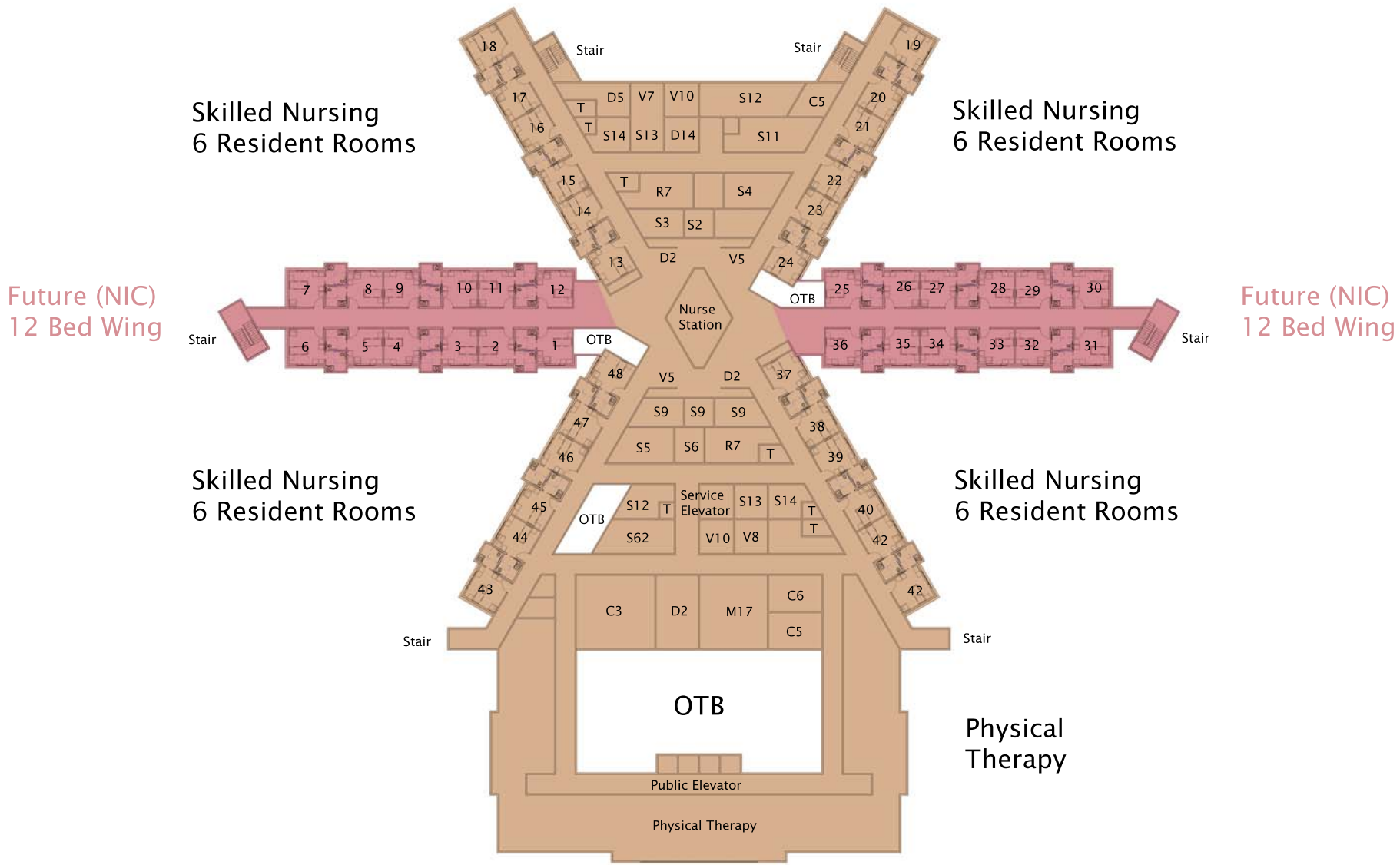








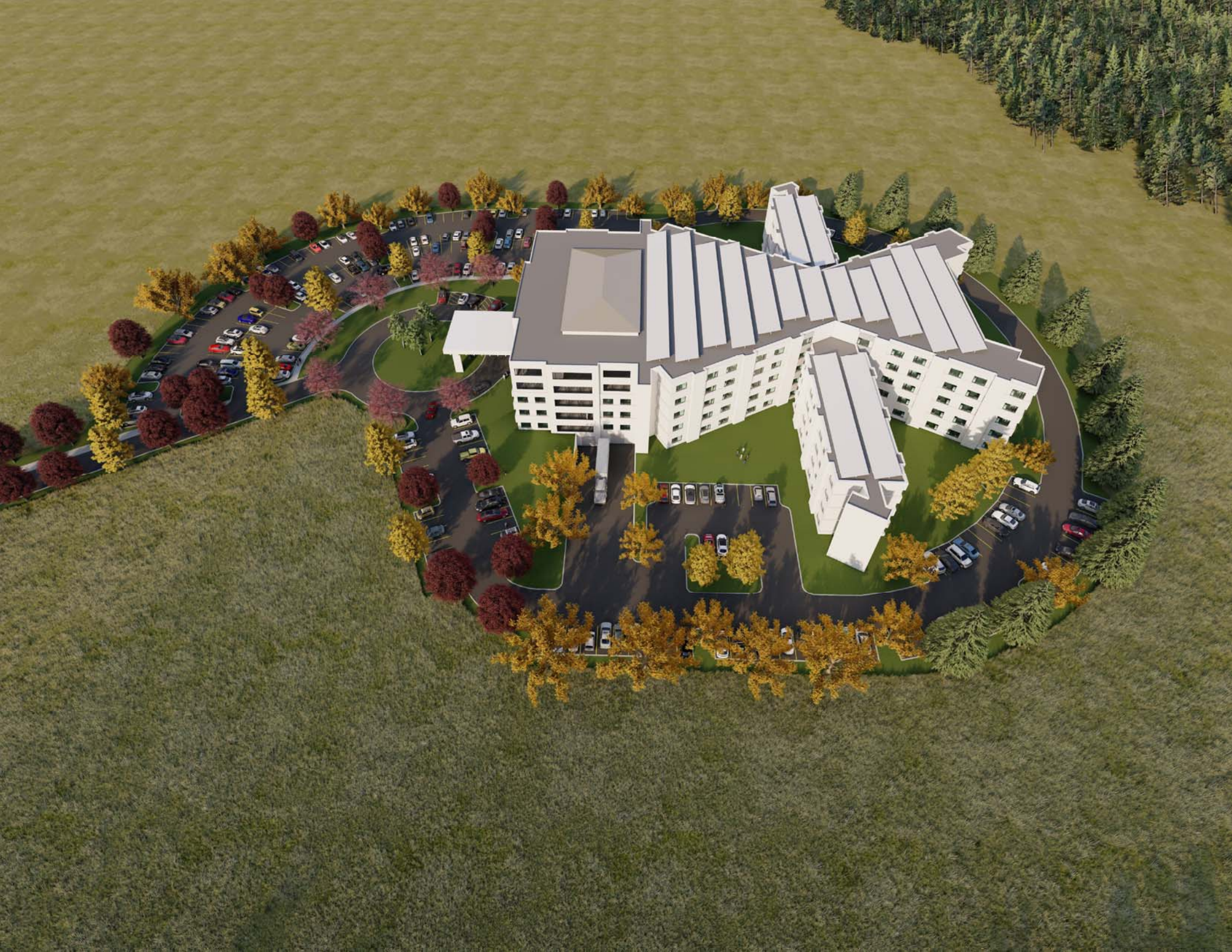








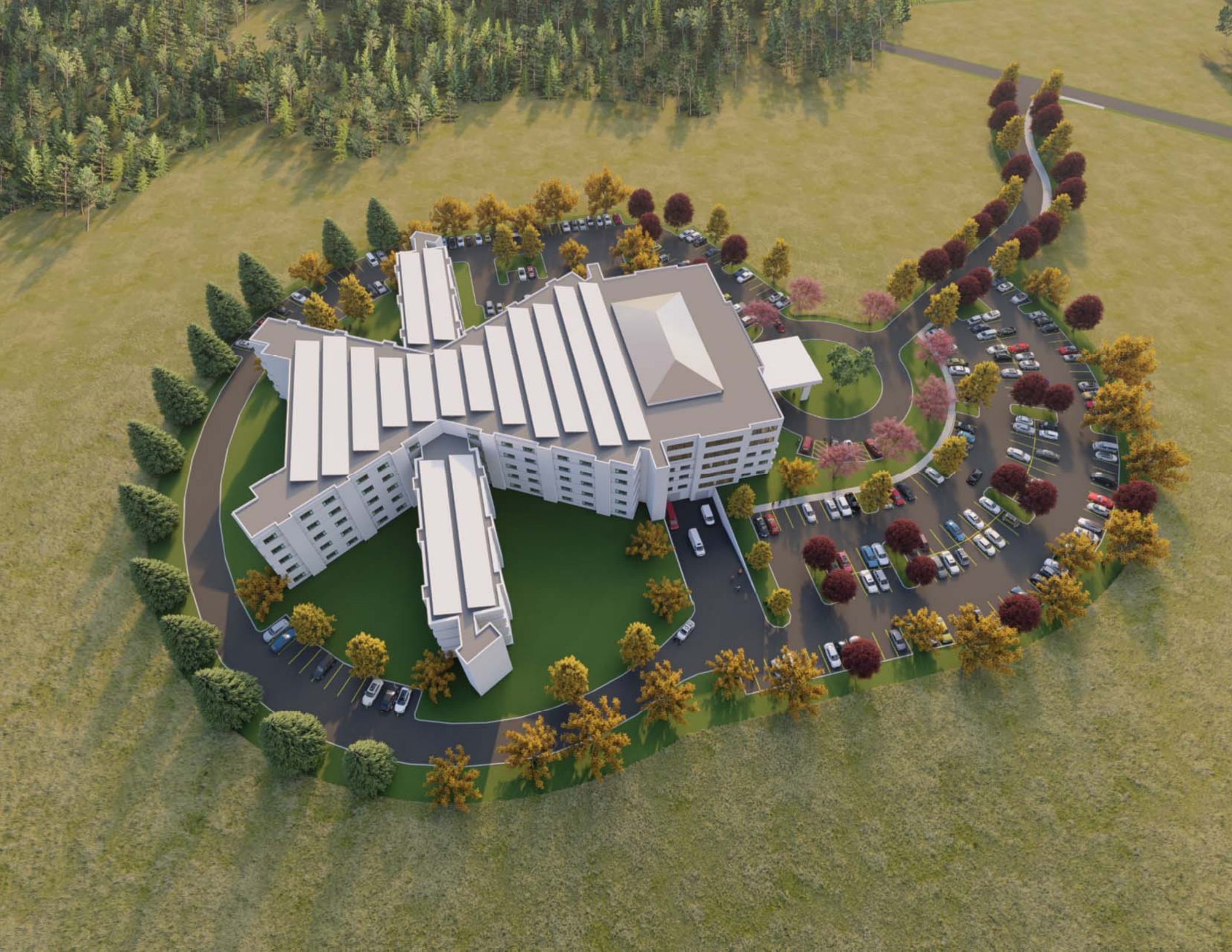






















TOTAL SPACES	REQUIRED	PROPOSED
ACCESSIBLE SPACES:	7	255



NOT ISSUED  
FOR  
CONSTRUCTION

**STRAFFORD COUNTY NURSING HOME**  
DOVER, NEW HAMPSHIRE


NO.	DATE	DESCRIPTION
REVISIONS		



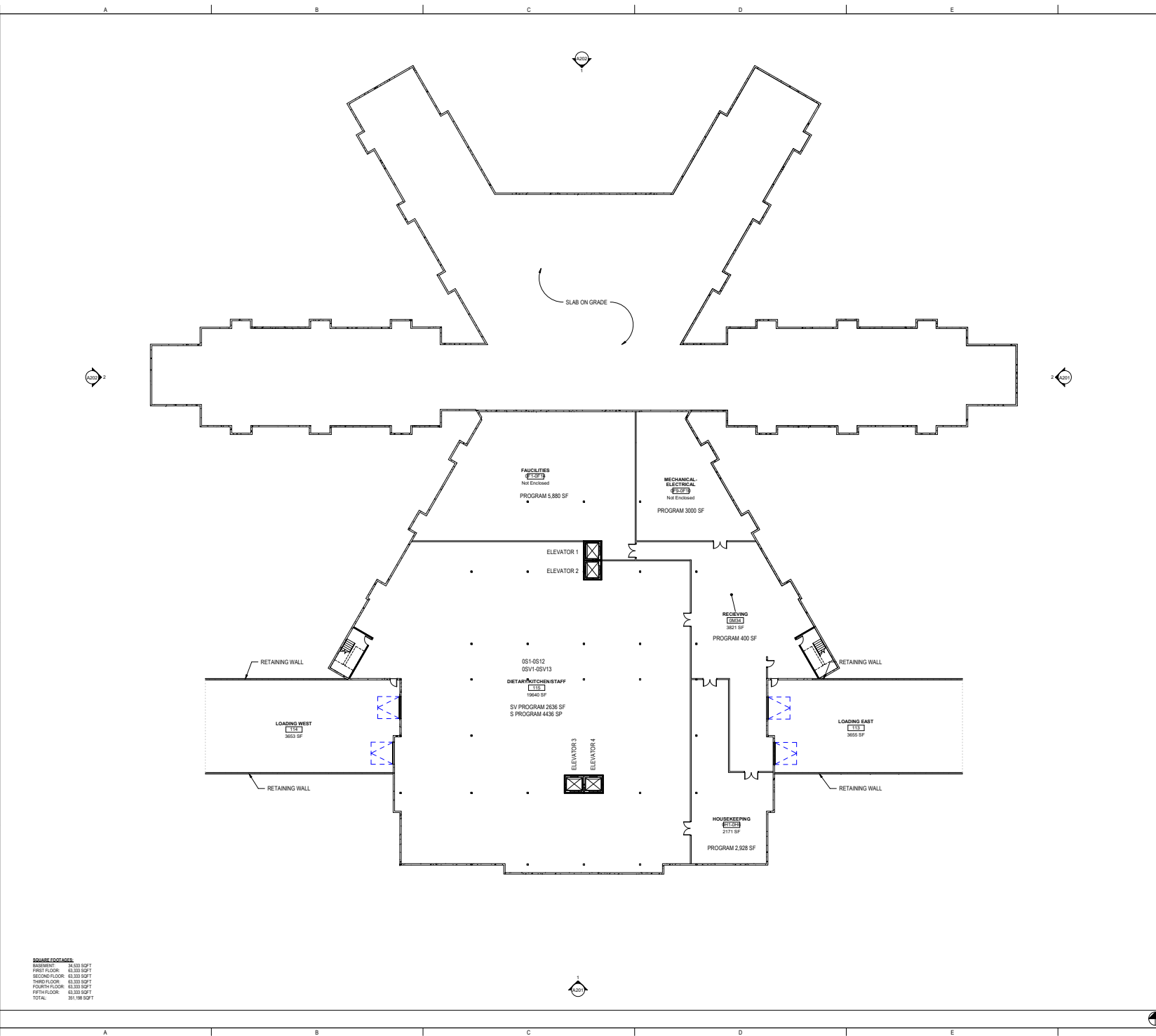
DATE:	JUNE 2023
NOBIS PROJECT NO.:	100475.00
DRAWN BY:	XX
CHECKED BY:	XX
CAD DRAWING FILE:	100475.00-C-200-SITE.dwg

SHEET TITLE  
**PRELIMINARY LAYOUT**

SHEET  
**C-0**

J:\100475.00-Stratford County Nursing Home\CAD\DWG\100475.00-C-200-SITE.dwg, 6/7/2023 1:57 PM

ANTHONY DIAMANTIS ARCHITECTS  
 100 WASHINGTON STREET, SUITE 200  
 MANCHESTER, NH 03102  
 PHONE: (603) 225-0640  
 WWW.ANTHONYDIAMANTIS.COM  
 DATE: 08/11/2022



**SCHEDULE OF FINISHES**

BASEMENT	\$4,333 SQFT
FIRST FLOOR	\$4,333 SQFT
SECOND FLOOR	\$4,333 SQFT
THIRD FLOOR	\$4,333 SQFT
FOURTH FLOOR	\$4,333 SQFT
FIFTH FLOOR	\$4,333 SQFT
TOTAL	\$61,198 SQFT

**GENERAL PLAN NOTES**

- ARCHITECTURAL DATUM = 102'-0". THE ARCHITECTURAL DATUM IS INDEPENDENT OF ELEVATIONS SHOWN ON THE CIVIL DRAWINGS. SEE CIVIL DRAWINGS FOR CORRESPONDING DATUM HEIGHT ABOVE SEA LEVEL.
- ALL DIMENSIONS AT NEW WALLS ARE TO OUTSIDE FACE OF STUO. FACE OF CONCRETE TO INSIDE FACE OF WALL.
- DO NOT SCALE DRAWINGS. CONTACT ARCHITECT FOR ANY DISCREPANCY PRIOR TO COMMENCEMENT OF WORK.
- REFER TO DIMENSION PLANS FOR GENERAL PARTITION NOTES & PARTITION TYPES.
- VERIFY FIELD CONDITIONS PRIOR TO COMMENCEMENT OF EACH PORTION OF THE WORK. NOTIFY ARCHITECT OF DISCREPANCIES.
- ALL LUMBER MUST CONTACT WITH CONCRETE SHALL BE PRESURE TREATED INCLUDING ALL SILL PLATES FOR WOOD STUD WALLS.
- REVIEW PRIOR TO INSTALLATION ANY CONFLICT OF ENGINEERING TRADE DEVICES (I.E. FIRE ALARMS STRIKES WITH ARCHITECTURAL DETAILS AND BRING THOSE DISCREPANCIES TO THE ARCHITECT FOR REVIEW.
- PROVIDE BLOCKING FOR MILLWORK, MECHANICAL, ELECTRICAL, PLUMBING FIXTURES AND OTHER ITEMS IDENTIFIED IN THE CONSTRUCTION DOCUMENTS.
- COORDINATE BASIC STEEL REQUIREMENTS FOR MOUNTING HANGING OWNER SUPPLIED EQUIPMENT.

TO BE EDITED

**FLOOR PLAN LEGEND**

- (111) DOOR TAG, SEE DOOR SCHEDULE
- (112) WINDOW TAG, SEE WINDOW SCHEDULE
- (113) ACCESSORY TAG, SEE ACCESSORY TYPES & INTERIOR ELEVATIONS
- (114) KEYNOTE, SEE FLOOR PLAN KEYNOTE LEGEND
- (115) STRUCTURAL OUTLINE
- (116) NEW CONSTRUCTION
- (117) EXISTING CONSTRUCTION
- (118) NEW DOOR
- (119) EXISTING DOOR

**FLOOR PLAN KEYNOTES**

KEY	DESCRIPTION
A	

**OWNER**

STAFFORD COUNTY COMMISSIONERS  
 259 COUNTY FARM RD SUITE 204  
 DOVER, NH 03820  
 (603) 742-1458

**CONSTRUCTION MANAGER**

NO

**CONSULTANTS:**

**CIVIL**

NAME  
 STREET  
 CITY, STATE, ZIP  
 TELEPHONE

**LANDSCAPE**

NAME  
 STREET  
 CITY, STATE, ZIP  
 TELEPHONE

**STRUCTURAL**

NAME  
 STREET  
 CITY, STATE, ZIP  
 TELEPHONE

**PLUMBING / MECHANICAL**

NAME  
 STREET  
 CITY, STATE, ZIP  
 TELEPHONE

**ELECTRICAL**

NAME  
 STREET  
 CITY, STATE, ZIP  
 TELEPHONE

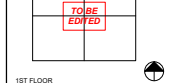
**OTHER**

NAME  
 STREET  
 CITY, STATE, ZIP  
 TELEPHONE

**PROJECT TITLE / ADDRESS:**

STAFFORD COUNTY NURSING HOME  
 285 COUNTY FARM CROSS RD  
 DOVER, NH 03820

**PLAN KEY:**



1ST FLOOR

SCALE: AS NOTED  
 PROJECT # 3818  
 DRAWN BY: AUTHOR  
 CHK BY: CHECKER

PRINT DATE: 10/4/2022 1:57:55 PM

ISSUE DATE:  
 ISSUE:  
 SCHEMATIC DESIGN

**REVISIONS**

NO.	DATE	COMMENTS

**BASEMENT FLOOR PLAN**

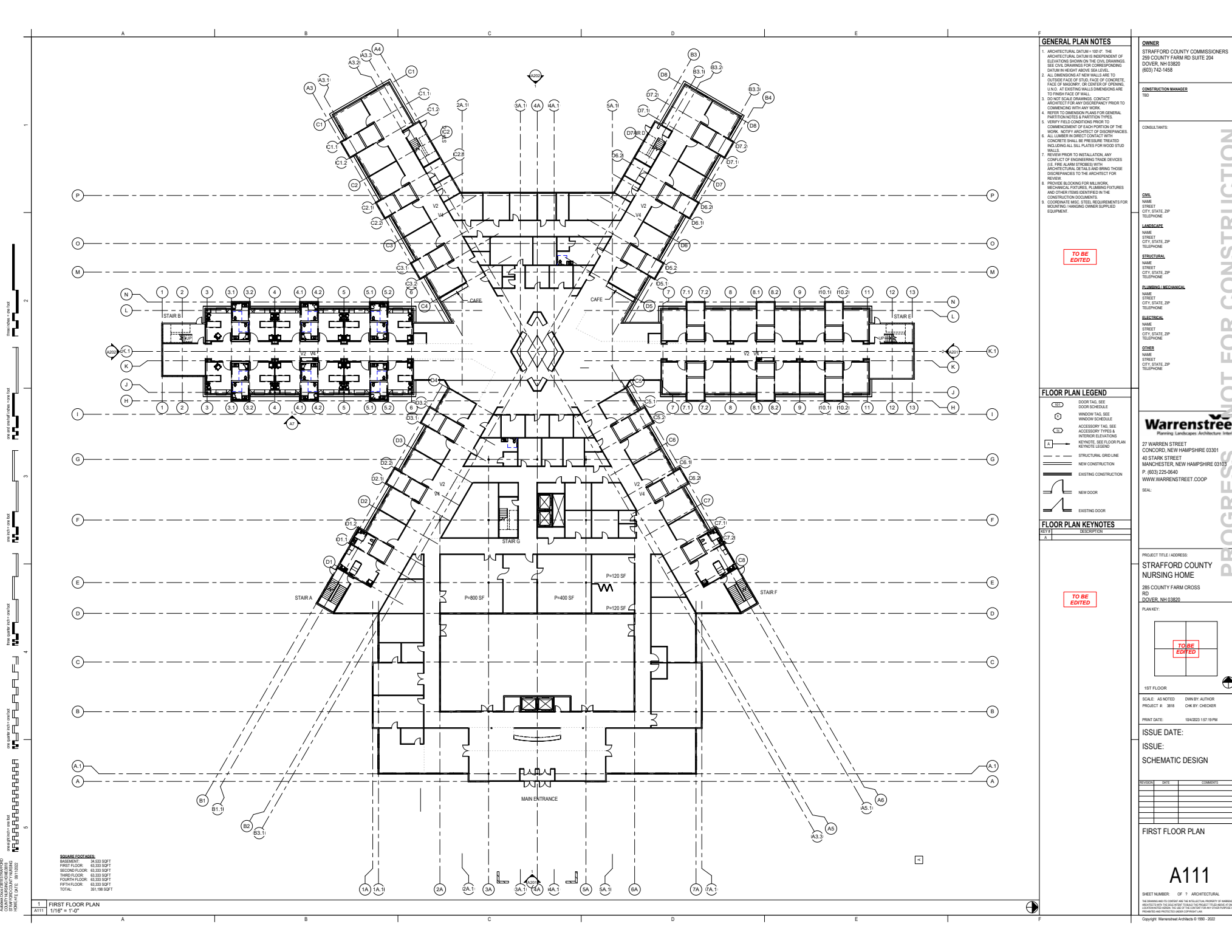
**A110**

SHEET NUMBER: OF 1 ARCHITECTURAL  
 THE DRAWING AND ITS CONTENT ARE THE ARCHITECTURAL PROPERTY OF ANTHONY DIAMANTIS ARCHITECTS AND SHALL REMAIN THE PROPERTY OF ANTHONY DIAMANTIS ARCHITECTS. NO PART OF THIS DRAWING IS TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, WITHOUT THE WRITTEN PERMISSION OF ANTHONY DIAMANTIS ARCHITECTS.  
 Copyright: Warrenstreet Architects © 1990 - 2022

**PROGRESS NOT FOR CONSTRUCTION**

WARRENSTREET ARCHITECTS  
 40 STARK STREET  
 MANCHESTER, NEW HAMPSHIRE 03103  
 P. (603) 225-0640  
 WWW.WARRENSTREET.COOP





**SQUARE FOOTAGE**

BASEMENT	84,533 SQFT
FIRST FLOOR	83,333 SQFT
SECOND FLOOR	83,333 SQFT
THIRD FLOOR	83,333 SQFT
FOURTH FLOOR	83,333 SQFT
FIFTH FLOOR	83,333 SQFT
TOTAL	381,198 SQFT

1 FIRST FLOOR PLAN  
1/16" = 1'-0"

**GENERAL PLAN NOTES**

- 1 ARCHITECTURAL DATUM = 102'-0". THE ARCHITECTURAL DATUM IS INDEPENDENT OF ELEVATIONS SHOWN ON THE CIVIL DRAWINGS. SEE CIVIL DRAWINGS FOR CORRESPONDING DATUM IN HEIGHT ABOVE SEA LEVEL.
- 2 ALL DIMENSIONS AT NEW WALLS ARE TO OUTSIDE FACE OF STUDO. DIMENSIONS ARE TO INSIDE FACE OF WALL.
- 3 DO NOT SCALE DIMENSIONS. CONTACT ARCHITECT FOR ANY DISCREPANCY PRIOR TO COMMENCEMENT OF WORK.
- 4 REFER TO DIMENSION PLANS FOR GENERAL PARTITION NOTES & PARTITION TYPES.
- 5 VERIFY FIELD CONDITIONS PRIOR TO COMMENCEMENT OF EACH PORTION OF THE WORK. NOTIFY ARCHITECT OF DISCREPANCIES.
- 6 ALL LUMBER MUST BE TREATED WITH PRESERVATIVE. CONCRETE SHALL BE PRESTRESS TREATED INCLUDING ALL SILL PLATES FOR WOOD STUD WALLS.
- 7 REVIEW PRIOR TO INSTALLATION ANY CONFLICT OF ENGINEERING TRADE DEVICES (E.G. FIRE ALARM STRIKES WITH ARCHITECTURAL DETAILS) AND BRING THOSE DISCREPANCIES TO THE ARCHITECT FOR REVIEW.
- 8 PROVIDE BLOCKING FOR MILLWORK, MECHANICAL, PLUMBING, PLUMBING FIXTURES AND OTHER ITEMS IDENTIFIED IN THE CONSTRUCTION DOCUMENTS.
- 9 COORDINATE BASIC STEEL REQUIREMENTS FOR MOUNTING HANGING OWNER SUPPLIED EQUIPMENT.

TO BE EDITED

**FLOOR PLAN LEGEND**

- DOOR TAG, SEE DOOR SCHEDULE
- WINDOW TAG, SEE WINDOW SCHEDULE
- ACCESSORY TAG, SEE ACCESSORY TYPES & INTERIOR ELEVATIONS KEYNOTE, SEE FLOOR PLAN KEYNOTE LEGEND
- STRUCTURAL ORDLINE
- NEW CONSTRUCTION
- EXISTING CONSTRUCTION
- NEW DOOR
- EXISTING DOOR

**FLOOR PLAN KEYNOTES**

DATE: \_\_\_\_\_

**OWNER**  
STAFFORD COUNTY COMMISSIONERS  
259 COUNTY FARM RD SUITE 204  
DOVER, NH 03820  
(603) 742-1458

**CONSTRUCTION MANAGER**  
N/A

**CONSULTANTS:**

**CIVIL**  
NAME: \_\_\_\_\_  
STREET: \_\_\_\_\_  
CITY, STATE, ZIP: \_\_\_\_\_  
TELEPHONE: \_\_\_\_\_

**LANDSCAPE**  
NAME: \_\_\_\_\_  
STREET: \_\_\_\_\_  
CITY, STATE, ZIP: \_\_\_\_\_  
TELEPHONE: \_\_\_\_\_

**STRUCTURAL**  
NAME: \_\_\_\_\_  
STREET: \_\_\_\_\_  
CITY, STATE, ZIP: \_\_\_\_\_  
TELEPHONE: \_\_\_\_\_

**PLUMBING / MECHANICAL**  
NAME: \_\_\_\_\_  
STREET: \_\_\_\_\_  
CITY, STATE, ZIP: \_\_\_\_\_  
TELEPHONE: \_\_\_\_\_

**ELECTRICAL**  
NAME: \_\_\_\_\_  
STREET: \_\_\_\_\_  
CITY, STATE, ZIP: \_\_\_\_\_  
TELEPHONE: \_\_\_\_\_

**OTHER**  
NAME: \_\_\_\_\_  
STREET: \_\_\_\_\_  
CITY, STATE, ZIP: \_\_\_\_\_  
TELEPHONE: \_\_\_\_\_

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MANCHESTER, NEW HAMPSHIRE 03103  
P. (603) 225-0640  
WWW.WARRENSTREET.COOP

PROJECT TITLE / ADDRESS:  
**STAFFORD COUNTY NURSING HOME**  
285 COUNTY FARM CROSS RD  
DOVER, NH 03820



1ST FLOOR  
SCALE: AS NOTED DRAWN BY: AUTHOR  
PROJECT # 3818 CHK BY: CHECKER

PRINT DATE: 10/20/2023 1:57 PM  
ISSUE DATE:  
ISSUE:  
SCHEMATIC DESIGN

REVISION	DATE	COMMENTS

FIRST FLOOR PLAN

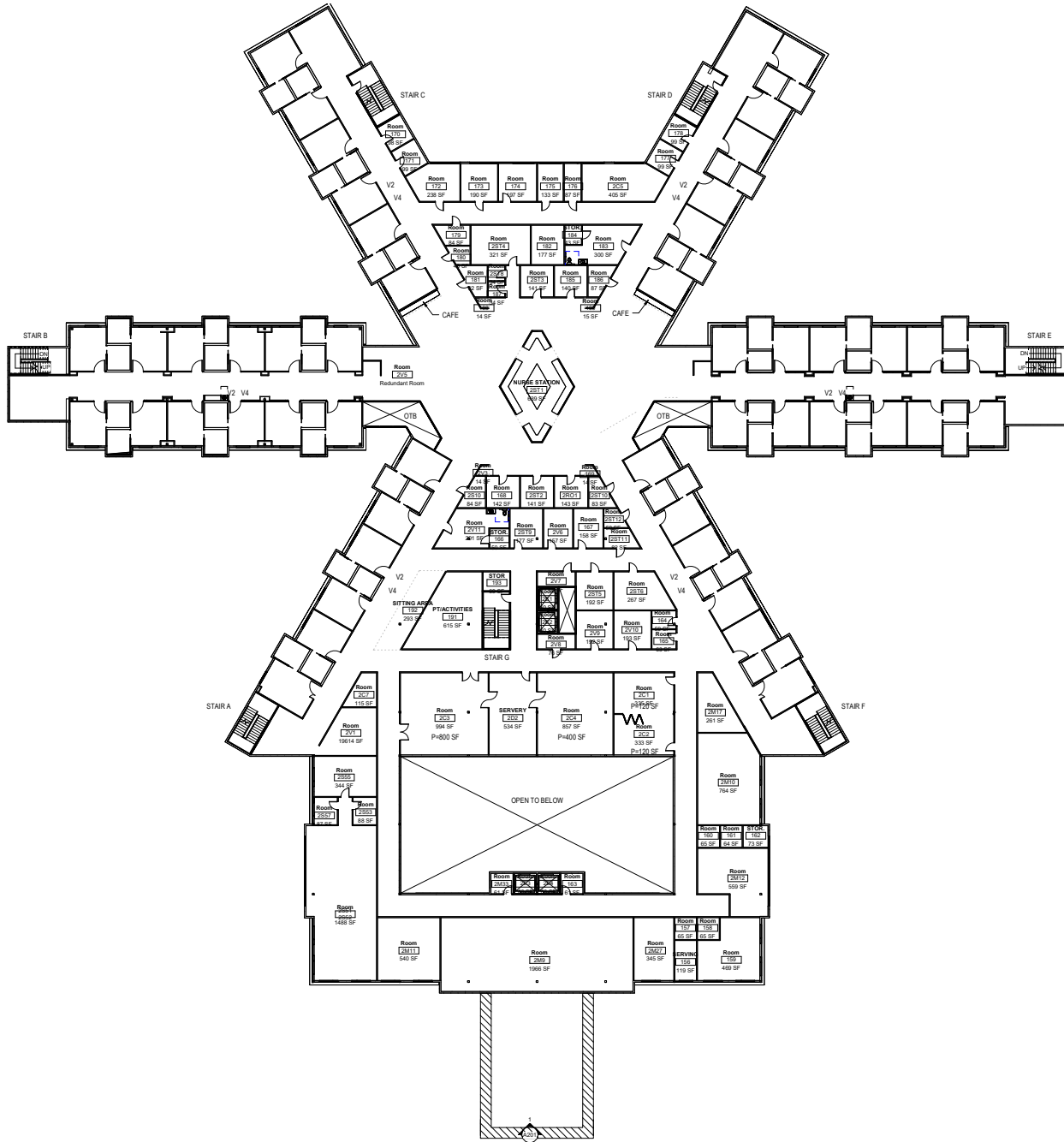
**A111**

SHEET NUMBER: OF 1 ARCHITECTURAL

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PROGRESS NOT FOR CONSTRUCTION



**SOURCE FOOTAGE**

BASEMENT	84,333 SQFT
FIRST FLOOR	83,333 SQFT
SECOND FLOOR	83,333 SQFT
THIRD FLOOR	83,333 SQFT
FOURTH FLOOR	83,333 SQFT
FIFTH FLOOR	83,333 SQFT
TOTAL	361,198 SQFT

**GENERAL PLAN NOTES**

1. ARCHITECTURAL DATUM = 102' - THE ARCHITECTURAL DATUM IS INDEPENDENT OF ELEVATIONS SHOWN ON THE CIVIL DRAWINGS. SEE CIVIL DRAWINGS FOR CORRESPONDING DATUM HEIGHT ABOVE SEA LEVEL.
2. ALL DIMENSIONS AT NEW WALLS ARE TO OUTSIDE FACE OF STUD. FACE OF CONCRETE, FACE OF MASONRY, OR CENTER OF OPENING, UNLESS NOTED OTHERWISE.
3. DIMENSIONAL DISCREPANCIES: CONTACT ARCHITECT FOR ANY DISCREPANCY PRIOR TO COMMENCEMENT OF WORK.
4. REFER TO DIMENSION PLANS FOR GENERAL PARTITION TYPES AND PARTITION TYPES.
5. VERIFY FIELD CONDITIONS PRIOR TO COMMENCEMENT OF EACH PORTION OF THE WORK. NOTIFY ARCHITECT OF DISCREPANCIES.
6. ALL LUMBER MUST BE TREATED WITH CONCRETE SHALL BE PRESURE TREATED INCLUDING ALL SILL PLATES FOR WOOD STUD WALLS.
7. REVIEW PRIOR TO INSTALLATION ANY CONFLICT OF ENGINEERING TRADE DEVICES (E.G. FIRE ALARM STRIKES WITH ARCHITECTURAL DETAILS) AND BRING THOSE DISCREPANCIES TO THE ARCHITECT FOR REVIEW.
8. PROVIDE BLOOMING FOR MILLWORK, MECHANICAL FIXTURES, PLUMBING FIXTURES AND OTHER ITEMS IDENTIFIED IN THE CONSTRUCTION DOCUMENTS.
9. COORDINATE REIN. STEEL REQUIREMENTS FOR MOUNTING HANGING OWNER SUPPLIED EQUIPMENT.

TO BE EDITED

**FLOOR PLAN LEGEND**

- DOOR TAG, SEE DOOR SCHEDULE
- WINDOW TAG, SEE WINDOW SCHEDULE
- ACCESSORY TAG, SEE ACCESSORY TYPES & INTERIOR ELEVATIONS
- KEYNOTE, SEE FLOOR PLAN KEYNOTE LEGEND
- STRUCTURAL OUTLINE
- NEW CONSTRUCTION
- EXISTING CONSTRUCTION
- NEW DOOR
- EXISTING DOOR

**FLOOR PLAN KEYNOTES**

NOTE	DESCRIPTION
A	

**OWNER**  
STRAFFORD COUNTY COMMISSIONERS  
259 COUNTY FARM RD SUITE 204  
DOVER, NH 03820  
(603) 742-1458

**CONSTRUCTION MANAGER**  
TBC

**CONSULTANTS:**

**CIVIL**  
NAME  
STREET  
CITY, STATE, ZIP  
TELEPHONE

**LANDSCAPE**  
NAME  
STREET  
CITY, STATE, ZIP  
TELEPHONE

**STRUCTURAL**  
NAME  
STREET  
CITY, STATE, ZIP  
TELEPHONE

**PLUMBING / MECHANICAL**  
NAME  
STREET  
CITY, STATE, ZIP  
TELEPHONE

**ELECTRICAL**  
NAME  
STREET  
CITY, STATE, ZIP  
TELEPHONE

**OTHER**  
NAME  
STREET  
CITY, STATE, ZIP  
TELEPHONE

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40 STARK STREET  
MANCHESTER, NEW HAMPSHIRE 03103  
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WWW.WARRENSTREET.COOP

SEAL:

**PROJECT TITLE / ADDRESS:**  
STRAFFORD COUNTY  
NURSING HOME

285 COUNTY FARM CROSS  
RD  
DOVER, NH 03820

**PLAN KEY:**



1ST FLOOR  
SCALE: AS NOTED  
PROJECT # 3818  
PRINT DATE: 10/24/2023 1:57:25 PM

**ISSUE DATE:**  
**ISSUE:**  
SCHEMATIC DESIGN

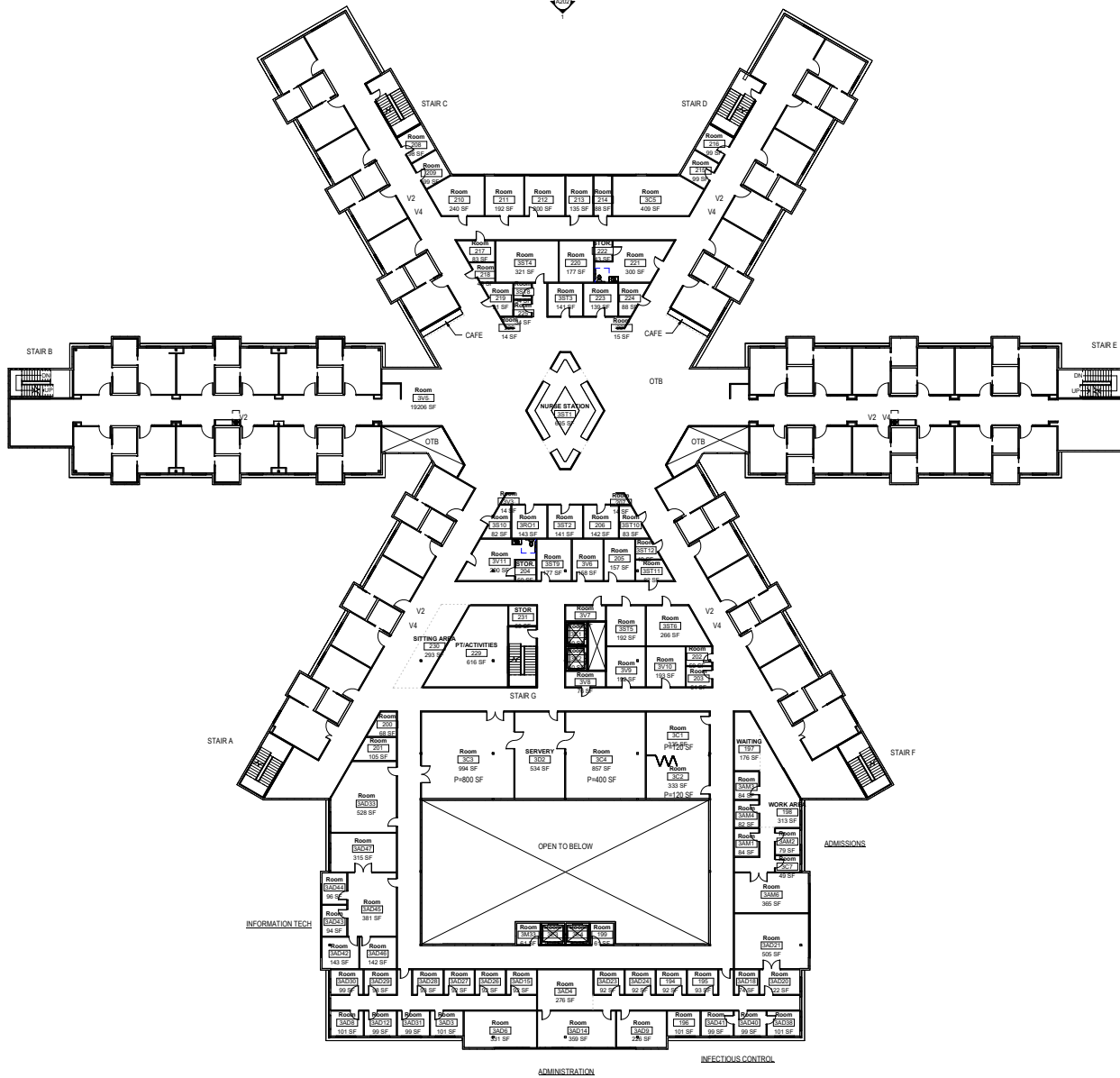
REVISION	DATE	COMMENTS

SECOND FLOOR PLAN

**A112**

SHEET NUMBER OF 1 ARCHITECTURAL  
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PROGRESS NOT FOR CONSTRUCTION



**GENERAL PLAN NOTES**

1. ARCHITECTURAL DATUM = 102'-0". THE ARCHITECTURAL DATUM IS INDEPENDENT OF ELEVATIONS SHOWN ON THE CIVIL DRAWINGS. SEE CIVIL DRAWINGS FOR CORRESPONDING DATUM HEIGHT ABOVE SEA LEVEL.
2. ALL DIMENSIONS AT NEW WALLS ARE TO OUTSIDE FACE OF STUD. FACE OF CONCRETE, FACE OF MASONRY, OR CENTER OF OPENING UNLESS NOTED OTHERWISE.
3. VERIFY FIELD CONDITIONS PRIOR TO COMMENCEMENT OF EACH PORTION OF THE WORK. NOTIFY ARCHITECT OF DISCREPANCIES.
4. REFER TO DIMENSION PLANS FOR GENERAL PARTITION TYPES AND PARTITION TYPES.
5. VERIFY FIELD CONDITIONS PRIOR TO COMMENCEMENT OF EACH PORTION OF THE WORK. NOTIFY ARCHITECT OF DISCREPANCIES.
6. ALL LUMBER MUST BE PRESSURE TREATED INCLUDING ALL SILL PLATES FOR WOOD STUD WALLS.
7. REVIEW PRIOR TO INSTALLATION ANY CONFLICT OF ENGINEERING TRADE DEVICES (I.E. FIRE ALARM STRIKES WITH ARCHITECTURAL DETAILS) AND BRING THOSE DISCREPANCIES TO THE ARCHITECT FOR REVIEW.
8. PROVIDE BLOOMING FOR MILLWORK, MECHANICAL FIXTURES, PLUMBING FIXTURES AND OTHER ITEMS IDENTIFIED IN THE CONSTRUCTION DOCUMENTS.
9. COORDINATE BASIC STEEL REQUIREMENTS FOR MOUNTING HANGING OWNER SUPPLIED EQUIPMENT.

TO BE EDITED

**FLOOR PLAN LEGEND**

- DOOR TAG, SEE DOOR SCHEDULE
- WINDOW TAG, SEE WINDOW SCHEDULE
- ACCESSORY TAG, SEE ACCESSORY TYPES & INTERIOR ELEVATIONS
- KEYNOTE, SEE FLOOR PLAN KEYNOTE LEGEND
- STRUCTURAL OUTLINE
- NEW CONSTRUCTION
- EXISTING CONSTRUCTION
- NEW DOOR
- EXISTING DOOR

**FLOOR PLAN KEYNOTES**

NOTE	DESCRIPTION
A	

TO BE EDITED

OWNER	
STAFFORD COUNTY COMMISSIONERS 259 COUNTY FARM RD SUITE 204 DOVER, NH 03820 (603) 742-1458	
CONSTRUCTION MANAGER	
TBC	
CONSULTANTS	
<b>CIVIL</b> NAME: STREET, CITY, STATE, ZIP, TELEPHONE  <b>LANDSCAPE</b> NAME: STREET, CITY, STATE, ZIP, TELEPHONE  <b>STRUCTURAL</b> NAME: STREET, CITY, STATE, ZIP, TELEPHONE  <b>PLUMBING / MECHANICAL</b> NAME: STREET, CITY, STATE, ZIP, TELEPHONE  <b>ELECTRICAL</b> NAME: STREET, CITY, STATE, ZIP, TELEPHONE  <b>OTHER</b> NAME: STREET, CITY, STATE, ZIP, TELEPHONE	

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40 STARK STREET  
MANCHESTER, NEW HAMPSHIRE 03103  
P. (603) 225-0640  
WWW.WARRENSTREET.COOP

PROJECT TITLE / ADDRESS:  
**STAFFORD COUNTY NURSING HOME**  
285 COUNTY FARM CROSS RD  
DOVER, NH 03820

SCALE	AS NOTED	DATE	BY	CHECKED

ISSUE DATE:  
SCHEMATIC DESIGN

REVISION	DATE	COMMENTS

THIRD FLOOR PLAN

A113

SHEET NUMBER: OF 1 ARCHITECTURAL

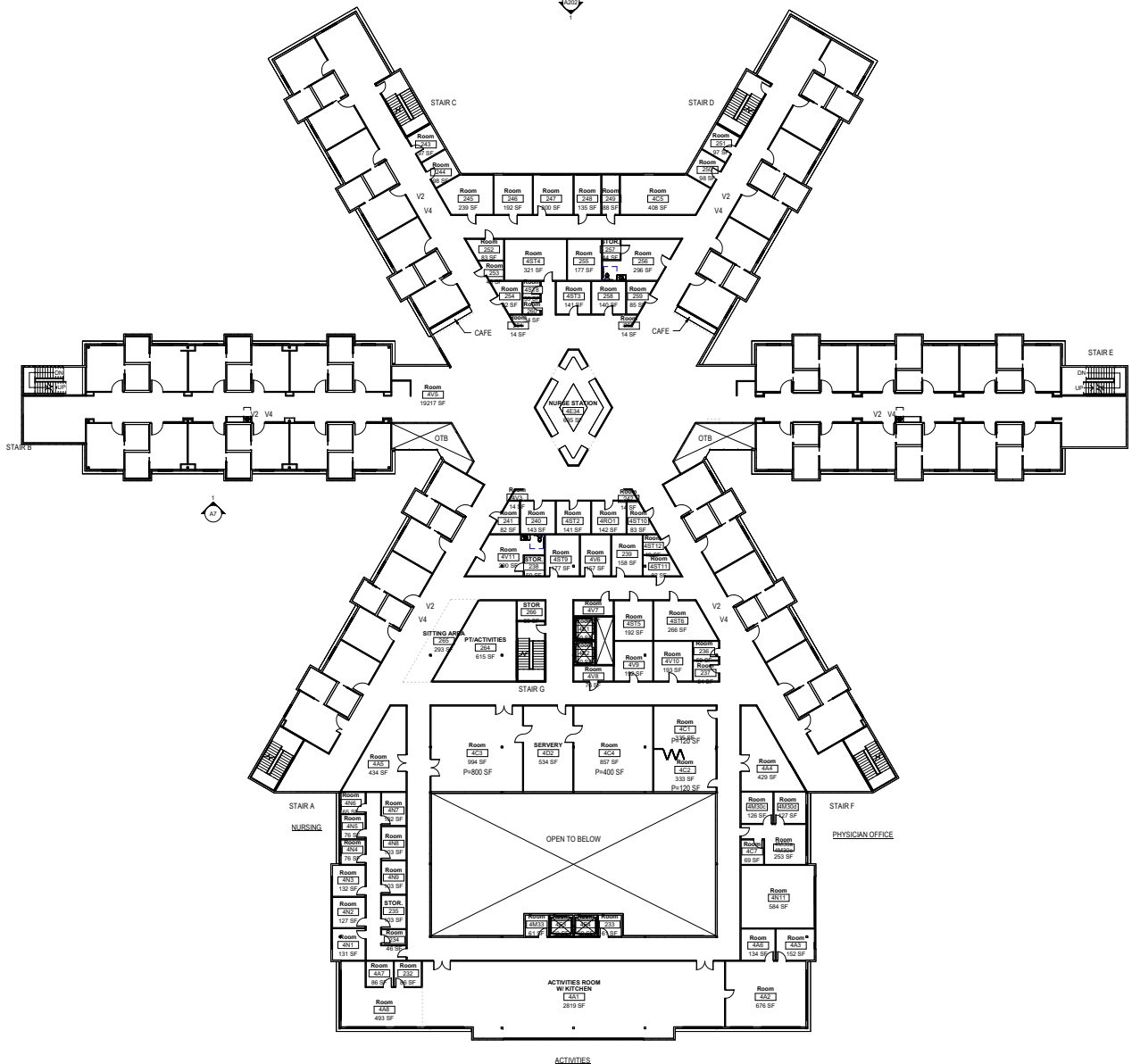
**SPACE CONTIGUOUS**

BASEMENT	84,333 SQFT
FIRST FLOOR	83,333 SQFT
SECOND FLOOR	83,333 SQFT
THIRD FLOOR	83,333 SQFT
FOURTH FLOOR	83,333 SQFT
FIFTH FLOOR	83,333 SQFT
TOTAL	361,198 SQFT

1	FLOOR 3
A7	1/16" = 1'-0"

PROGRESS NOT FOR CONSTRUCTION





- GENERAL PLAN NOTES**
- 1 ARCHITECTURAL DATUM = 102' ±. THE ARCHITECTURAL DATUM IS INDEPENDENT OF ELEVATIONS SHOWN ON THE CIVIL DRAWINGS. SEE CIVIL DRAWINGS FOR CORRESPONDING DATUM HEIGHT ABOVE SEA LEVEL.
  - 2 ALL DIMENSIONS AT NEW WALLS ARE TO OUTSIDE FACE OF STUDY. FACE OF CONCRETE, FACE OF MASONRY, OR CENTER OF OPENING UNL.D. AT EXISTING WALLS DIMENSIONS ARE TO INSIDE FACE OF WALL.
  - 3 DO NOT SCALE DRAWINGS. CONTACT ARCHITECT FOR ANY DISCREPANCY PRIOR TO COMMENCEMENT OF ANY WORK.
  - 4 REFER TO DIMENSION PLANS FOR GENERAL PARTITION TYPES & PARTITION TYPES.
  - 5 VERIFY FIELD CONDITIONS PRIOR TO COMMENCEMENT OF EACH PORTION OF THE WORK. NOTIFY ARCHITECT OF DISCREPANCIES.
  - 6 ALL LUMBER IN CONTACT WITH CONCRETE SHALL BE PRESURE TREATED INCLUDING ALL SILL PLATES FOR WOOD STUD WALLS.
  - 7 REVIEW PRIOR TO INSTALLATION ANY CONFLICT OF ENGINEERING TRADE DEVICES (I.E. FIRE ALARM STRIKES WITH ARCHITECTURAL DETAILS AND BRING THOSE DISCREPANCIES TO THE ARCHITECT FOR REVIEW.
  - 8 PROVIDE BLOOMING FOR MILLWORK, MECHANICAL FIXTURES, PLUMBING FIXTURES AND OTHER ITEMS IDENTIFIED IN THE CONSTRUCTION DOCUMENTS.
  - 9 COORDINATE REIN. STEEL REQUIREMENTS FOR MOUNTING HANGING OWNER SUPPLIED EQUIPMENT.

**OWNER**  
STRAFFORD COUNTY COMMISSIONERS  
259 COUNTY FARM RD SUITE 204  
DOVER, NH 03820  
(603) 742-1458

**CONSTRUCTION MANAGER**  
TBC

**CONSULTANTS:**

**CIVIL**  
NAME  
STREET  
CITY, STATE, ZIP  
TELEPHONE

**LANDSCAPE**  
NAME  
STREET  
CITY, STATE, ZIP  
TELEPHONE

**STRUCTURAL**  
NAME  
STREET  
CITY, STATE, ZIP  
TELEPHONE

**PLUMBING / MECHANICAL**  
NAME  
STREET  
CITY, STATE, ZIP  
TELEPHONE

**ELECTRICAL**  
NAME  
STREET  
CITY, STATE, ZIP  
TELEPHONE

**OTHER**  
NAME  
STREET  
CITY, STATE, ZIP  
TELEPHONE

TO BE EDITED

- FLOOR PLAN LEGEND**
- DOOR TAG, SEE DOOR SCHEDULE
  - WINDOW TAG, SEE WINDOW SCHEDULE
  - ACCESSORY TAG, SEE ACCESSORY TYPES & INTERIOR ELEVATIONS
  - KEYNOTE, SEE FLOOR PLAN KEYNOTE LEGEND
  - STRUCTURAL OUTLINE
  - NEW CONSTRUCTION
  - EXISTING CONSTRUCTION
  - NEW DOOR
  - EXISTING DOOR

**FLOOR PLAN KEYNOTES**

SYMBOL	DESCRIPTION
A	SECTION

TO BE EDITED

**Warrenstreet**  
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40 STARK STREET  
MANCHESTER, NEW HAMPSHIRE 03103  
P. (603) 225-0640  
WWW.WARRENSTREET.COOP

**PROJECT TITLE / ADDRESS:**  
STRAFFORD COUNTY NURSING HOME  
285 COUNTY FARM CROSS RD  
DOVER, NH 03820

**PLAN KEY:**

SCALE: AS NOTED  
PROJECT # 3818  
PRINT DATE: 10/2023 1:51:40 PM

**ISSUE DATE:**

**ISSUE:**  
SCHEMATIC DESIGN

REVISION	DATE	COMMENTS

**FOURTH FLOOR PLAN**

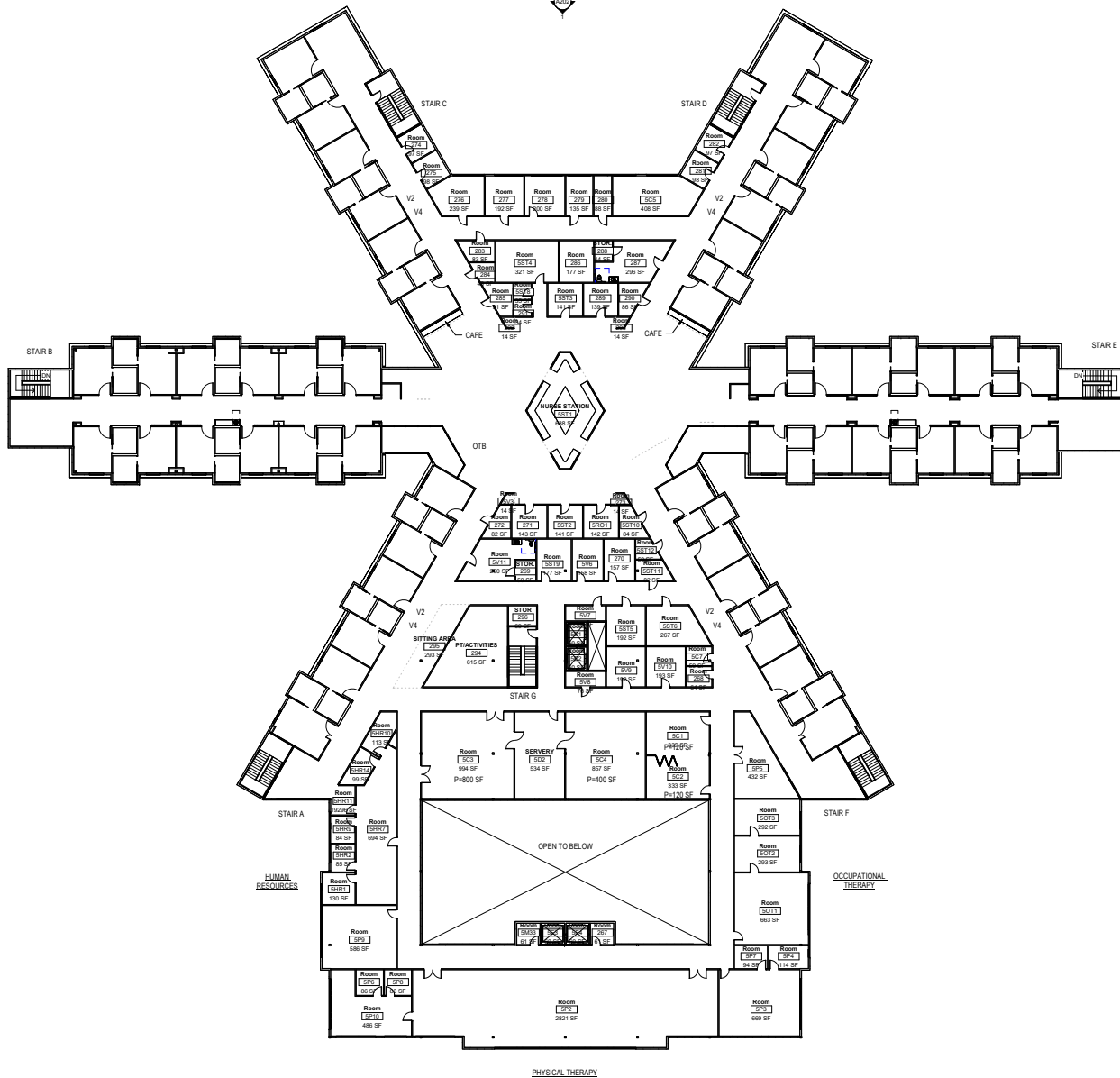
**A114**

SHEET NUMBER OF 1 ARCHITECTURAL

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1 FLOOR 4  
1/16" = 1'-0"

PROGRESS NOT FOR CONSTRUCTION



**GENERAL PLAN NOTES**

1. ARCHITECTURAL DATUM = 102'-0". THE ARCHITECTURAL DATUM IS INDEPENDENT OF ELEVATIONS SHOWN ON THE CIVIL DRAWINGS. SEE CIVIL DRAWINGS FOR CORRESPONDING DATUM HEIGHT ABOVE SEA LEVEL.
2. ALL DIMENSIONS AT NEW WALLS ARE TO OUTSIDE FACE OF STUD. FACE OF CONCRETE, FACE OF MASONRY, OR CENTER OF OPENING UNL.D. AT EXISTING WALLS DIMENSIONS ARE TO INSIDE FACE OF WALL.
3. COUNTY SCALE DRAWINGS: CONTACT ARCHITECT FOR ANY DISCREPANCY PRIOR TO COMMENCEMENT OF ANY WORK.
4. REFER TO DIMENSION PLANS FOR GENERAL PARTITION TYPES AND PARTITION TYPES.
5. VERIFY FIELD CONDITIONS PRIOR TO COMMENCEMENT OF EACH PORTION OF THE WORK. NOTIFY ARCHITECT OF DISCREPANCIES.
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7. REVIEW PRIOR TO INSTALLATION ANY CONFLICT OF ENGINEERING TRADE DEVICES (I.E. FIRE ALARM STRIKES WITH ARCHITECTURAL DETAILS AND BRING THOSE DISCREPANCIES TO THE ARCHITECT FOR REVIEW.
8. PROVIDE BLOTTING FOR MILLWORK, MECHANICAL FIXTURES, PLUMBING FIXTURES AND OTHER ITEMS IDENTIFIED IN THE CONSTRUCTION DOCUMENTS.
9. COORDINATE REIN. STEEL REQUIREMENTS FOR MOUNTING HANGING OWNER SUPPLIED EQUIPMENT.

TO BE EDITED

**FLOOR PLAN LEGEND**

- DOOR TAG, SEE DOOR SCHEDULE
- WINDOW TAG, SEE WINDOW SCHEDULE
- ACCESSORY TAG, SEE ACCESSORY TYPES & INTERIOR ELEVATIONS
- KEYNOTE, SEE FLOOR PLAN KEYNOTE LEGEND
- STRUCTURAL OUTLINE
- NEW CONSTRUCTION
- EXISTING CONSTRUCTION
- NEW DOOR
- EXISTING DOOR

**FLOOR PLAN KEYNOTES**

- 27 WARREN STREET CONCORD, NEW HAMPSHIRE 03301
- 40 STAIRS STREET MANCHESTER, NEW HAMPSHIRE 03103
- P. (603) 225-0640
- WWW.WARRENSTREET.COOP

TO BE EDITED

KEY	DESCRIPTION
A	

**OWNER**

STRAFFORD COUNTY COMMISSIONERS  
259 COUNTY FARM RD SUITE 204  
DOVER, NH 03820  
(603) 742-1458

**CONSTRUCTION MANAGER**

102

**CONSULTANTS**

**CIVIL**  
NAME  
STREET  
CITY, STATE, ZIP  
TELEPHONE

**LANDSCAPE**  
NAME  
STREET  
CITY, STATE, ZIP  
TELEPHONE

**STRUCTURAL**  
NAME  
STREET  
CITY, STATE, ZIP  
TELEPHONE

**PLUMBING / MECHANICAL**  
NAME  
STREET  
CITY, STATE, ZIP  
TELEPHONE

**ELECTRICAL**  
NAME  
STREET  
CITY, STATE, ZIP  
TELEPHONE

**OTHER**  
NAME  
STREET  
CITY, STATE, ZIP  
TELEPHONE

**PROJECT TITLE / ADDRESS**

STRAFFORD COUNTY NURSING HOME  
285 COUNTY FARM CROSS RD  
DOVER, NH 03820

**PLAN KEY**

Room 501	Room 502	Room 503	Room 504	Room 505
----------	----------	----------	----------	----------

SCALE: AS NOTED  
PROJECT # 3818  
DATE: 04/20/2015 11:47 AM

**ISSUE DATE:**

ISSUE: SCHEMATIC DESIGN

REVISION	DATE	COMMENTS

**FIFTH FLOOR PLAN**

**A115**

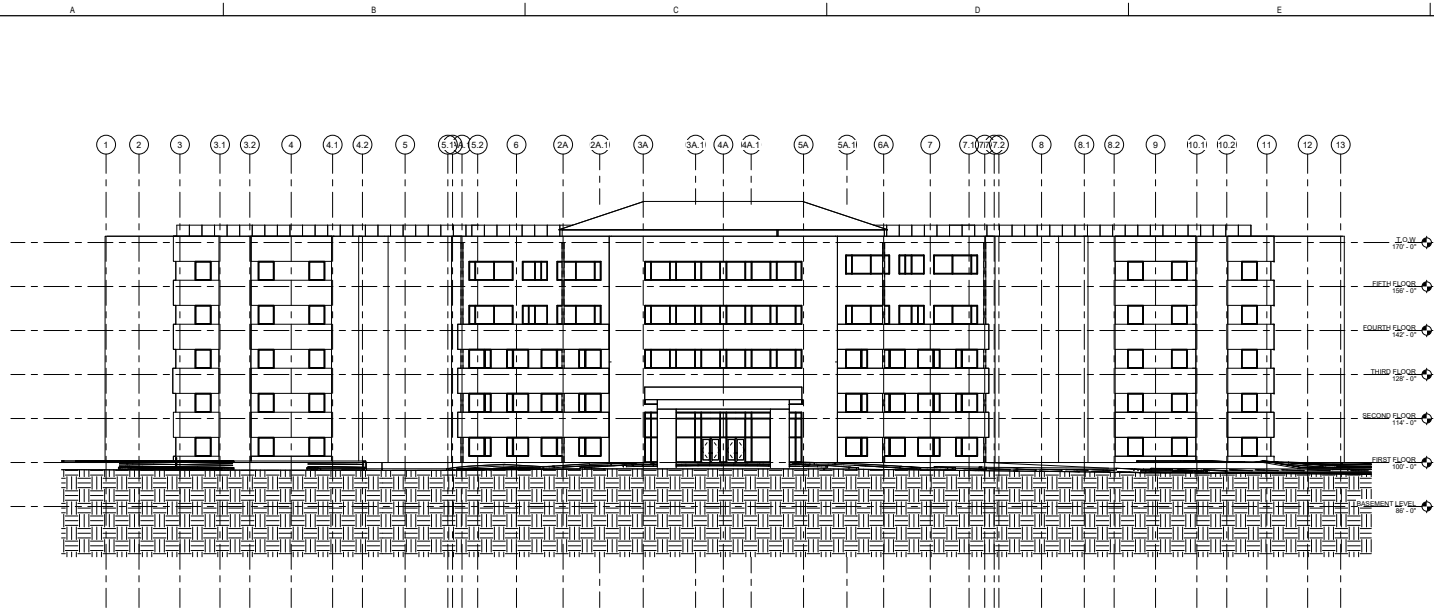
SHEET NUMBER OF 1 ARCHITECTURAL

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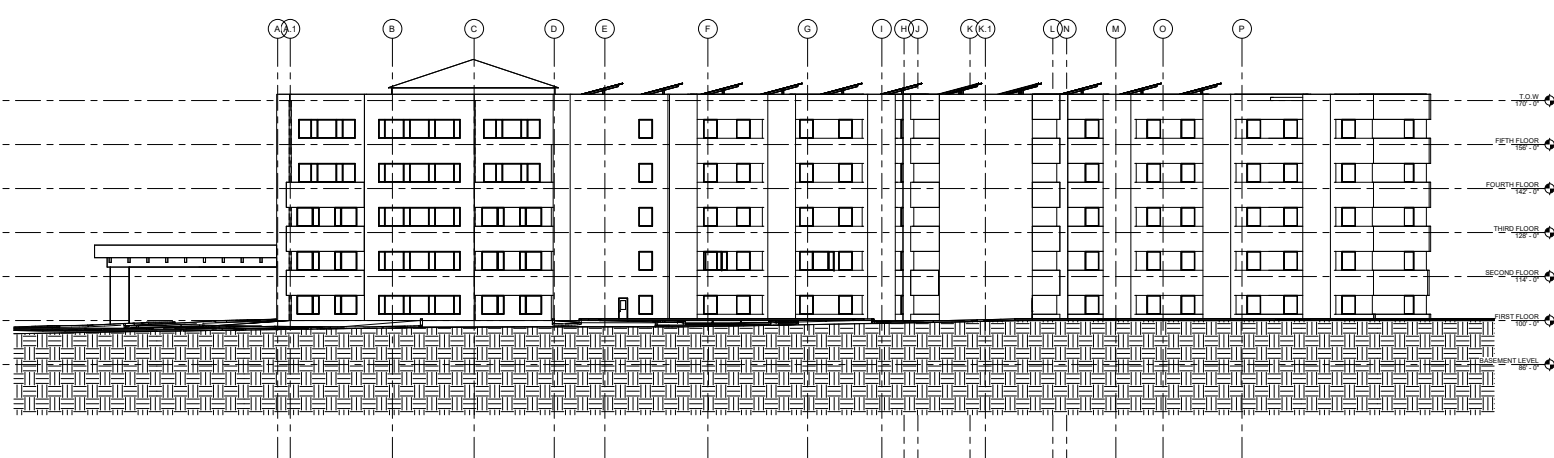
PROGRESS NOT FOR CONSTRUCTION

1 FLOOR S  
1/16" = 1'-0"

Architect: Warrenstreet Architects  
285 County Farm Road  
Dover, NH 03820  
Phone: (603) 742-1458  
Fax: (603) 742-1459  
www.warrenstreet.com



1 SOUTH  
A110  
1/16" = 1'-0"



2 EAST  
A110  
1/16" = 1'-0"

**GENERAL ELEVATION NOTES**

1 REFER TO MEASUREMENTS FOR LOCATIONS OF LOWERS AND VENTS. CONFIRM FINAL POSITION WITH ARCHITECT PRIOR TO ORDERING.

**ELEVATION LEGEND**

- KEYNOTE: SEE ELEVATION KEYNOTE LEGEND
- WINDOW TAG: SEE DOOR SCHEDULE SHEET
- CJ CONTROL JOINT

**ELEVATION KEYNOTES**

CITY # DESCRIPTION

**OWNER**  
STRAFFORD COUNTY COMMISSIONERS  
255 COUNTY FARM RD SUITE 204  
DOVER, NH 03820  
(603) 742-1458

**CONSTRUCTION MANAGER**  
TBC

**CONSULTANTS:**

**CIVIL**  
NAME  
STREET  
CITY, STATE, ZIP  
TELEPHONE

**LANDSCAPE**  
NAME  
STREET  
CITY, STATE, ZIP  
TELEPHONE

**STRUCTURAL**  
NAME  
STREET  
CITY, STATE, ZIP  
TELEPHONE

**PLUMBING / MECHANICAL**  
NAME  
STREET  
CITY, STATE, ZIP  
TELEPHONE

**ELECTRICAL**  
NAME  
STREET  
CITY, STATE, ZIP  
TELEPHONE

**OTHER**  
NAME  
STREET  
CITY, STATE, ZIP  
TELEPHONE

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MANCHESTER, NEW HAMPSHIRE 03103  
P. (603) 225-0640  
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SEAL

**PROJECT TITLE / ADDRESS:**  
STRAFFORD COUNTY  
NURSING HOME  
285 COUNTY FARM CROSS  
DOVER, NH 03820

**PLAN KEY:**

**SCALE:** AS NOTED **DRAWN BY:** AUTHOR  
PROJECT # 3018 **CHK. BY:** CHECKER

**PRINT DATE:** 10/4/2023 1:57:50 PM

**ISSUE DATE:**

**ISSUE:**

SCHEMATIC DESIGN

REVISION	DATE	COMMENTS

**EXTERIOR ELEVATIONS**

**A201**

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PROGRESS NOT FOR CONSTRUCTION

TO BE EDITED

APPROVED FOR SUBMITTAL  
 DATE: 10/11/2023  
 DRAWN BY: JMM  
 CHECKED BY: JMM  
 PROJECT NO: 3018  
 SHEET NO: A201  
 SCALE: 1/16" = 1'-0"  
 DATE: 10/11/2023  
 TIME: 1:57:50 PM





# MILLER ENGINEERING & TESTING INC.

GEOTECHNICAL / SOIL BORINGS / ENVIRONMENTAL / SOILS / CONCRETE / MASONRY / STEEL / ROOFING / ASPHALT INSPECTION

Mail all correspondence to: 100 SHEFFIELD ROAD · PO BOX 4776 · MANCHESTER, NH 03108-4776 · TELEPHONE (603)668-6016 · Fax (603)668-8641

October 4, 2023

Mr. Jonathan Halle, AIA  
Warrenstreet Architects  
4 Crescent Street, Unit 2  
Concord, New Hampshire 03303

RE: Geotechnical Engineering Letter  
Proposed Strafford County Nursing Home  
County Farm Road  
Dover, New Hampshire

Project 23.108.NH

Dear Mr. Halle:

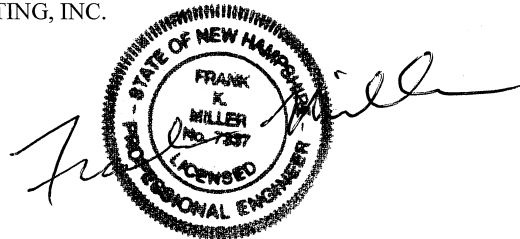
We have completed our geotechnical engineering investigation for the Strafford County Nursing Home project planned for the "Erik Drive Site" off County Farm Road in Dover, NH. The details of our subsurface observations, geotechnical evaluations, and building foundation and pavement design recommendations are provided in our report titled "Geotechnical Engineering Report Strafford County Nursing Home County Farm Road, Dover, New Hampshire", dated October 3, 2023.

In summary, our test borings indicate naturally occurring subsurface soil conditions are present from the ground surface at all locations explored in the project area. The subgrade bearing layers for the building foundation and pavements consist of hard clay, dense glacial till soils, and bedrock. In our opinion, these subsurface layers are suitable for supporting conventional reinforced concrete spread footing foundations and concrete floor slabs for the building; and should provide a suitable subgrade for driveways and surface parking areas. The geotechnical report should be reviewed for our complete geotechnical analysis, evaluation, and recommendations.

We hope this letter and our geotechnical report are helpful to you and the project team. Please contact me if you have any questions.

Sincerely,  
MILLER ENGINEERING & TESTING, INC.

Frank K. Miller, P.E.  
Vice President



Please mail the completed form and required material to:

New Hampshire Division of Historical Resources  
State Historic Preservation Office  
Attention: Review & Compliance  
19 Pillsbury Street, Concord, NH 03301-3570

RECEIVED SEP 11 2023

DHR Use Only
R&C # 14572M
Log In Date 9/11/23
Response Date ___/___/___
Sent Date ___/___/___

### Request for Project Review by the New Hampshire Division of Historical Resources

- This is a new submittal  
 This is additional information relating to DHR Review & Compliance (R&C) #: 14572

GENERAL PROJECT INFORMATION	
Project Title	Strafford County Nursing Home
Project Location	County Farm Road
City/Town	Dover
Tax Map B1	Lot # B0020-000000
NH State Plane - Feet Geographic Coordinates:	Easting 1180471 Northing 263053 (See RPR Instructions and R&C FAQs for guidance.)
Lead Federal Agency and Contact (if applicable) NA (Agency providing funds, licenses, or permits)	Permit Type and Permit or Job Reference #
State Agency and Contact (if applicable)	Permit Type and Permit or Job Reference #
APPLICANT INFORMATION	
Applicant Name	Raymond Bower, Strafford County Administrator
Mailing Address	259 County Farm Rd., Suite 204
Phone Number	603-516-4100
City	Dover
State	NH
Zip	03820
Email	rbower@co.strafford.nh.us
CONTACT PERSON TO RECEIVE RESPONSE	
Name/Company	Jonathan Halle/Warrenstreet Architects
Mailing Address	4 Crescent St., Unit 2
Phone Number	225-0640
City	Concord
State	NH
Zip	03303
Email	jh@warrenstreet.coop

*This form is updated periodically. Please download the current form at [www.nh.gov/nhdhr/review](http://www.nh.gov/nhdhr/review). Please refer to the Request for Project Review Instructions for direction on completing this form. Submit one copy of this project review form for each project for which review is requested. **Please include a self-addressed stamped envelope.** Project submissions will not be accepted via facsimile or e-mail. This form is required. Review request form must be complete for review to begin. Incomplete forms will be sent back to the applicant without comment. Please be aware that this form may only initiate consultation. For some projects, additional information will be needed to complete the Section 106 review. All items and supporting documentation submitted with a review request, including photographs and publications, will be retained by the DHR as part of its review records. Items to be kept confidential should be clearly identified. For questions regarding the DHR review process and the DHR's role in it, please visit our website at: [www.nh.gov/nhdhr/review](http://www.nh.gov/nhdhr/review) or contact the R&C Specialist at [marika.s.labash@dncr.nh.gov](mailto:marika.s.labash@dncr.nh.gov) or 603.271.3558.*



PROJECTS CANNOT BE PROCESSED WITHOUT THIS INFORMATION

Project Boundaries and Description

- Attach the Project Mapping *using EMMIT or relevant portion of a 7.5' USGS Map.* (See RPR Instructions and R&C FAQs for guidance.)
- Attach a detailed narrative description of the proposed project.
- Attach a site plan. The site plan should include the project boundaries and areas of proposed excavation.
- Attach photos of the project area (overview of project location and area adjacent to project location, and specific areas of proposed impacts and disturbances.) *(Informative photo captions are requested.)*
- A DHR records search must be conducted to identify properties within or adjacent to the project area. Provide records search results via EMMIT or in **Table 1.** *(Blank table forms are available on the DHR website.)* Please note, using EMMIT Guest View for an RPR records search does not provide the necessary information needed for DHR review. EMMIT or in-house records search conducted on 01/06/2023.

Architecture

Are there any buildings, structures (bridges, walls, culverts, etc.) objects, districts or landscapes within the project area?  Yes  No  
If no, skip to Archaeology section. If yes, submit all of the following information:

Approximate age(s): see text

- Photographs of *each* resource or streetscape located within the project area, with captions, along with a mapped photo key. (Digital photographs are accepted. All photographs must be clear, crisp and focused.)
- If the project involves rehabilitation, demolition, additions, or alterations to existing buildings or structures, provide additional photographs showing detailed project work locations. (i.e. Detail photo of windows if window replacement is proposed.)

Archaeology

Does the proposed undertaking involve ground-disturbing activity?  Yes  No  
If yes, submit all of the following information:

- Description of current and previous land use and disturbances.
- Available information concerning known or suspected archaeological resources within the project area (such as cellar holes, wells, foundations, dams, etc.)

Please note that for many projects an architectural and/or archaeological survey or other additional information may be needed to complete the Section 106 process.

DHR Comment/Finding Recommendation *This Space for Division of Historical Resources Use Only*

Insufficient information to initiate review.  Additional information is needed in order to complete review.

No Potential to cause Effects  No Historic Properties Affected  No Adverse Effect  Adverse Effect

Comments: Project area is considered archaeologically sensitive. Survey necessary before informed comment can be made.

If plans change or resources are discovered in the course of this project, you must contact the Division of Historical Resources as required by federal law and regulation.

Authorized Signature: Madi Miller, DSHR Date: 9/25/23



nobis

September 15, 2023

File No. 100475.000

## **STRAFFORD COUNTY NURSING HOME - CIVIL SCHEMATIC DESIGN NARRATIVE**

The proposed project is a new 5-story (60,250+/- SF footprint) County nursing home, located approximately ½ mile east of the existing Riverside Rest Home on County Farm Road in Dover.

The area proposed for development (site) is 19-1/2 acres of open field on the eastern portion of a 35-acre parcel owned by Strafford County. The site is approximately rectangular-shaped, flanked by Jackson Brook to the west and residential development to the north and east. County Farm Road is the southern boundary of the parcel. Currently the vegetative cover on the site is mainly grass with trees along the north and east property lines, and brush along Jackson Brook. The fields are leased and are mowed on an annual basis currently.

### Access/Circulation and Parking

The project involves construction of a single access/egress drive from County Farm Road, located east of the Pope Memorial Humane Society of Cocheco Valley, approximately 1,060 feet west of Erik Drive. This access drive will terminate at a circular drop-off at the main entrance to the building. Parking areas are proposed around the perimeter of the building, located off a two-way drive. The primary parking area is located southwest of the building (front) and there are parking spaces around the building with direct access from the drive.

All parking and access driveways will be paved. Vertical granite curbing is proposed throughout the development at parking and drives. Vertical concrete curbing is proposed where concrete sidewalks abut parking and driveways.

### Grading

The topography of the site rises from the entrance at County Farm Road, climbing approximately 24 feet from south to north. Preliminary grading of the access drive indicates the first 450 feet (to the beginning of the parking areas) will need to rise at approximately 6%, after crossing the



wetland. The remainder of the driveway will have fairly level consistent slopes (1%-3%) to facilitate access to multiple points around the building.

#### Utilities

Power: There are existing utility poles along County Farm Road south of the building. It is anticipated that power to the facility will be via underground conduit from a new pole to be set along County Farm Road. Emergency generators are planned as a backup power source. Natural gas is available.

Storm Water: As noted earlier, the current site is undeveloped with a grass surface that is regularly mowed. We are not aware of any closed drainage systems along County Farm Road; storm water runoff tends to flow overland to low-lying areas on the south, west and east sides of the site, ultimately entering Jackson Brook.

The new development will require collection and treatment of storm water runoff designed in accordance with City and state requirements. Based on an initial review of on-site soils according to the Natural Resources Conservation Service Web Soil Survey, on-site soils consist of Scantic and Suffield silt loam, which are considered hydrologic soil group C (low potential for infiltration). Results of borings and test pits performed on the site indicate fairly shallow depths to groundwater. Closed drainage systems will be designed for collection of stormwater runoff from the building roof and impervious surfaces. It is anticipated that subsurface soils and depth to ground water will preclude infiltration as a means of control and treatment of stormwater. Therefore, designed systems may include subsurface detention chambers, surface detention systems, and surficial and/or proprietary engineered methods of stormwater treatment.

Telecommunications: Telecommunication conduit may be co-located in the ductbank that carries the new power lines.

Water: A municipal water line is located in County Farm Road. There is a hydrant located approximately 350 feet east of the proposed access drive. Details of the existing system have been requested from the City but not yet received.



Wastewater: A municipal sewer system is located on the north side of County Farm Road. There is a City pump station located on the west side of Jackson Brook. Details of the existing system have been requested from the City but not yet received.

#### Permitting

Under NH RSA Section 674:54, governmental land use is not subject to formal approval by the City of Dover Planning or Zoning Board. The County shall give written notification to the City of Dover Planning Department. Written notification shall contain plans, specifications, explanations of proposed changes, a statement of the governmental nature of the use, and a proposed construction schedule. Such notification shall be provided at least 60 days prior to the beginning of construction. The City of Dover may conduct a public hearing relative to the proposed governmental use. Any such hearing shall be held within 30 days after receipt of notice. A representative of the County shall be available to present the plans, specifications, and construction schedule, and to provide explanations. The planning board may issue nonbinding written comments relative to conformity or nonconformity of the proposal with normally applicable land use regulations to the County within 30 days after the hearing.

Application will be made to the NHDES Alteration of Terrain Bureau for the project, which exceeds 100,000 square feet of overall land disturbance. This application includes review of the NH Heritage Bureau (NHB) database for the presence of rare and/or endangered species within the project area. During the September 8, 2022 review, NHB identified two threatened species within the vicinity of the project: the Eastern Meadowlark and the Spotted Turtle. Further coordination with NH Fish and Game has been initiated and will continue throughout the design process. Specific measures will be incorporated as recommended by NH Fish and Game to minimize impacts to threatened species and their habitats. The Alteration of Terrain permit includes submission of a wildlife impact assessment and a site-specific soil map for all areas proposed to be disturbed as part of the project. The City of Dover is part of the Coastal and Great Bay Region and the project is located within ¼ mile of the Cocheco River, which is considered a Designated River by the NHDES. Coordination with the Cocheco River Local Advisory Committee will be required. According to FEMA Flood Map Panel 33017C0310E effective 9/30/2015, the western portion of the site (along Jackson Brook) is in an area of Special Flood



Hazard Zone “A”, with Base Flood Elevations not determined. The approximate extents of this area are shown on the Existing Conditions survey plan.

This project will be covered under the Federal EPA Construction General Permit (CGP) since construction activities will disturb more than one acre of land. In order to be covered under the CGP, a Stormwater Pollution Prevention Plan (SWPPP) will need to be prepared and a Notice of Intent will need to be filed with EPA. As part of this permit application, the project will be reviewed by the NH Department of Historical Resources (NHDHR) to determine if there will be any potential impacts to historic properties or features.

County Farm Road is a municipally-maintained two-lane road with a posted speed of 35 mph. Permitting for the new access drive will occur at the local level – an NHDOT driveway permit will not be required.

There are wetland areas on eastern, southern and western portions of the site. The City requires a 50-foot building setback from wetlands. Jackson Brook is not subject to NHDES Shoreland Rules as it is not considered a fourth order stream. According to NHDES OneStop, Jackson Brook has impairments for Ecoli. The new access drive will cross the wetland in the front (south) of the property. The crossing will require an oversized embedded RCP culvert for compliance with threatened species protection recommendations made by NH Fish and Game. The anticipated impact to the wetlands at the driveway entrance is 4,150 square feet, which will require a Dredge & Fill Permit from the NHDES Wetlands Bureau.

A Sewer Connection Permit will be required from NHDES for the extension of sewer service to the new facility.



# National Flood Hazard Layer FIRMette



70°56'9"W 43°13'22"N



1:6,000

70°55'31"W 43°12'56"N

Basemap Imagery Source: USGS National Map 2023

## Legend

SEE FIS REPORT FOR DETAILED LEGEND AND INDEX MAP FOR FIRM PANEL LAYOUT

- |                                    |  |  |
|------------------------------------|--|--|
| <b>SPECIAL FLOOD HAZARD AREAS</b>  |  | Without Base Flood Elevation (BFE)<br><i>Zone A, V, A99</i>  |
|                                    |  | With BFE or Depth <i>Zone AE, AO, AH, VE, AR</i>   |
|                                    |  | Regulatory Floodway  |
| <b>OTHER AREAS OF FLOOD HAZARD</b> |  | 0.2% Annual Chance Flood Hazard, Areas of 1% annual chance flood with average depth less than one foot or with drainage areas of less than one square mile <i>Zone X</i> |
|                                    |  | Future Conditions 1% Annual Chance Flood Hazard <i>Zone X</i>  |
|                                    |  | Area with Reduced Flood Risk due to Levee. See Notes. <i>Zone X</i>  |
|                                    |  | Area with Flood Risk due to Levee <i>Zone D</i>  |
| <b>OTHER AREAS</b>                 |  | NO SCREEN Area of Minimal Flood Hazard <i>Zone X</i>   |
|                                    |  | Effective LOMRs  |
|                                    |  | Area of Undetermined Flood Hazard <i>Zone D</i>  |
| <b>GENERAL STRUCTURES</b>          |  | Channel, Culvert, or Storm Sewer   |
|                                    |  | Levee, Dike, or Floodwall  |
| <b>OTHER FEATURES</b>              |  | 20.2 Cross Sections with 1% Annual Chance Water Surface Elevation<br>17.5  |
|                                    |  | Coastal Transect   |
|                                    |  | Base Flood Elevation Line (BFE)  |
|                                    |  | Limit of Study   |
|                                    |  | Jurisdiction Boundary  |
|                                    |  | Coastal Transect Baseline  |
|                                    |  | Profile Baseline   |
|                                    | Hydrographic Feature   |  |
| <b>MAP PANELS</b>                  |  | Digital Data Available   |
|                                    |  | No Digital Data Available  |
|                                    |  | Unmapped   |
|                                    | The pin displayed on the map is an approximate point selected by the user and does not represent an authoritative property location. |  |



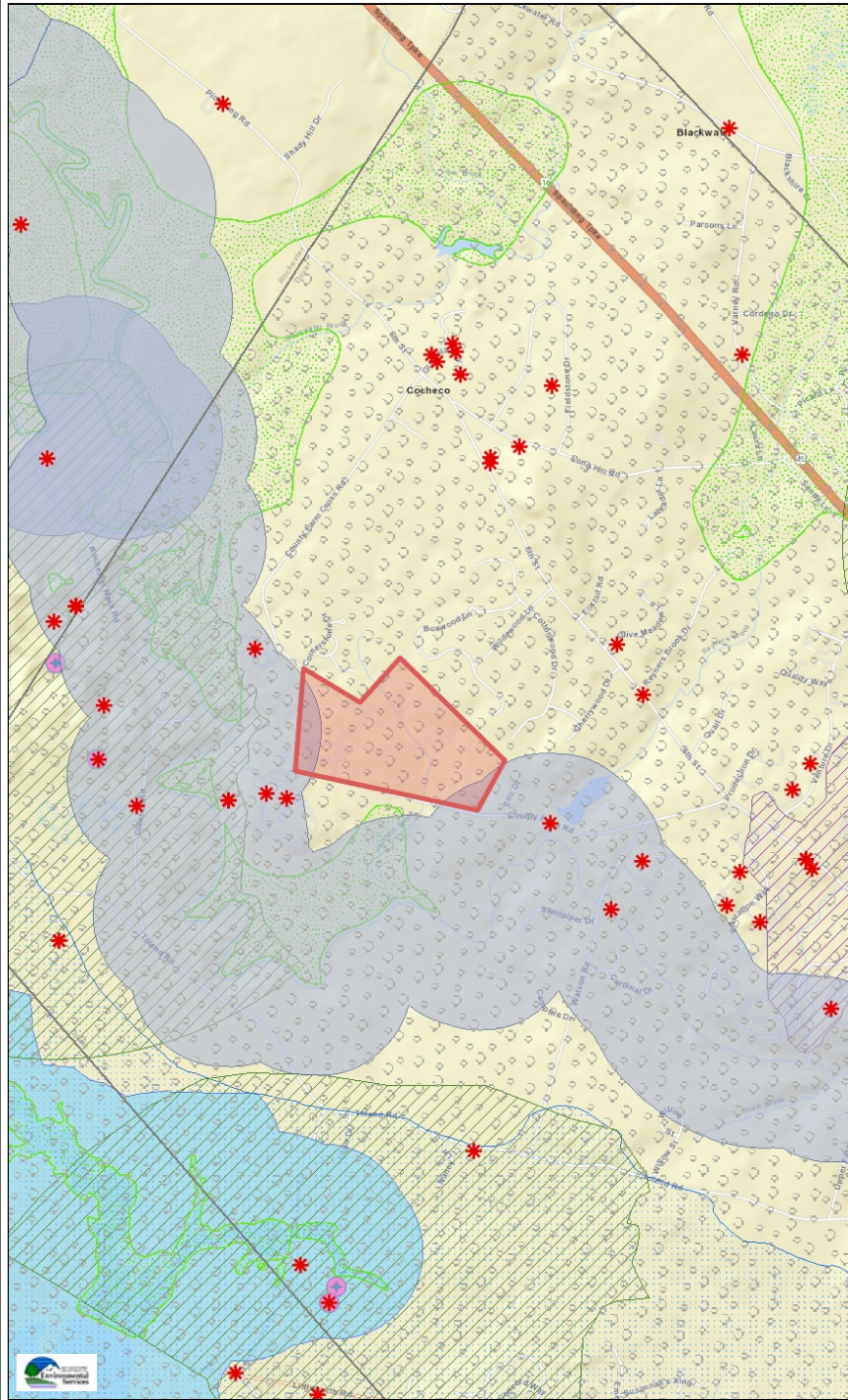
This map complies with FEMA's standards for the use of digital flood maps if it is not void as described below. The basemap shown complies with FEMA's basemap accuracy standards

The flood hazard information is derived directly from the authoritative NFHL web services provided by FEMA. This map was exported on 9/12/2023 at 1:51 PM and does not reflect changes or amendments subsequent to this date and time. The NFHL and effective information may change or become superseded by new data over time.

This map image is void if the one or more of the following map elements do not appear: basemap imagery, flood zone labels, legend, scale bar, map creation date, community identifiers, FIRM panel number, and FIRM effective date. Map images for unmapped and unmodernized areas cannot be used for regulatory purposes.



# Strafford County - AoT Screening Layers



## Legend

- ★ Remediation Sites
- Coastal and Great Bay Regi Communities
- Designated Rivers Quarterr Buffer
- Public Water Supply Wells
- Groundwater Classification / GA1
- Groundwater Classification / GA2
- Water Supply Intake Protect Areas
- Wellhead Protection Areas
- Class A Lakes with a Quarte Buffer
- Class A - All Features
- All Lakes, with a Quarter Mil Buffer
- Outstanding Resource Wate Watersheds
- Watersheds with Chloride Impairments

Map Scale

1: 25,977



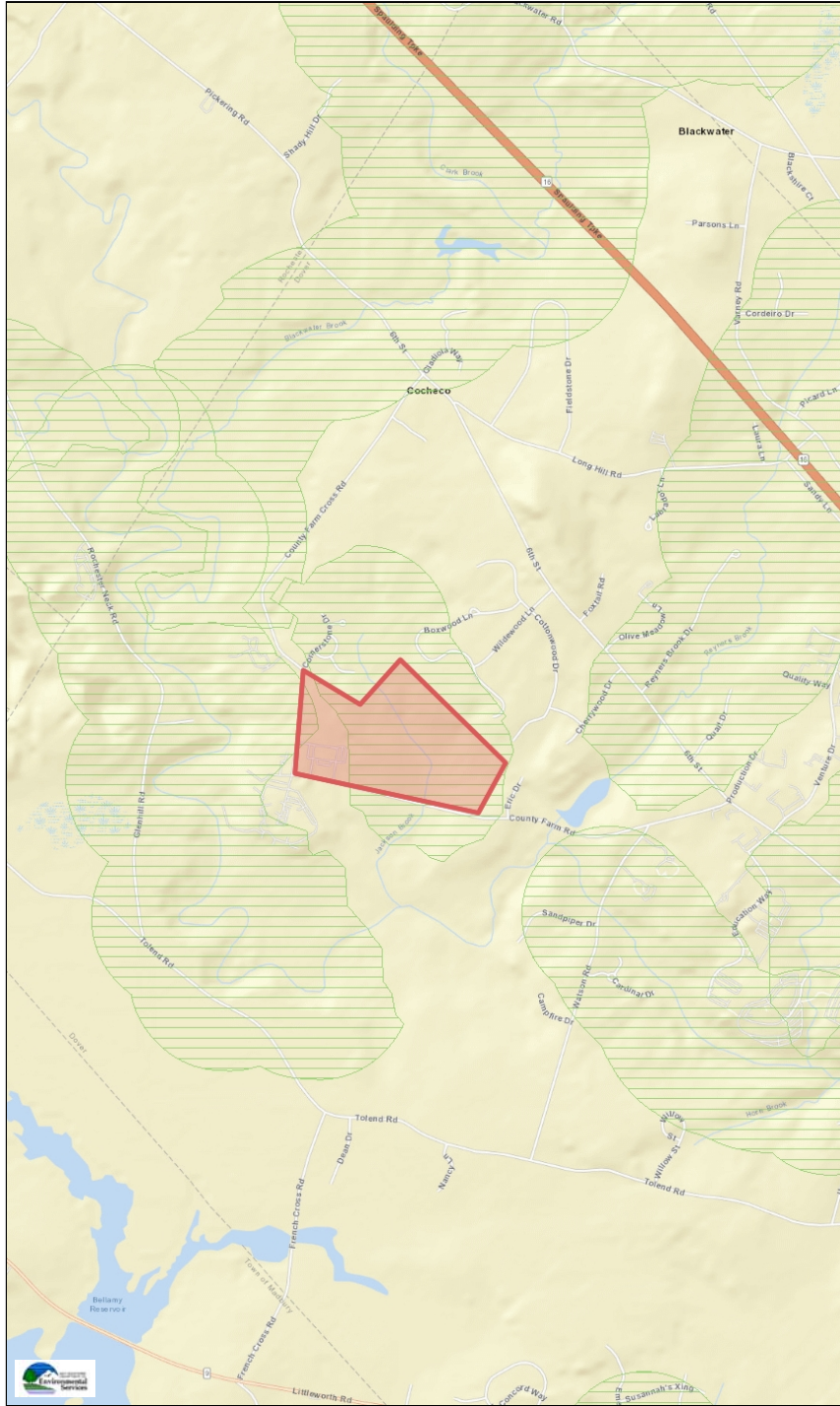
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Map Generated: 9/8/2023


## Notes



# Strafford County - Surface Water Impairments



## Legend

-  Surface Waters with Impairment with Quarter Mile Buffer

Map Scale

1: 25,977

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Map Generated: 9/8/2023



## Notes





